RES 2015-6099 Page 1 of 20

ITEM RES2015-6099

VILLAGE OF DOWNERS GROVE Report for the Village Council Meeting

2/17/2015

SUBJECT:	SUBMITTED BY:
Acceptance of Public Improvements – Green Acres Subdivision	Nan Newlon, P.E. Director of Public Works

SYNOPSIS

A resolution has been prepared for the acceptance of public improvements for the Green Acres Subdivision.

STRATEGIC PLAN ALIGNMENT

The Goals for 2011-2018 identified *Top Quality Infrastructure*.

FISCAL IMPACT

N/A

RECOMMENDATION

Approval on the February 17, 2015 consent agenda.

BACKGROUND

Green Acres Subdivision is located on the west side of Fairview Avenue, north of 66th Street, and includes Lynn Gremer Court and a portion of Davane Lane. The subdivision consists of 12 lots for single-family homes and a stormwater management basin located on a 13th lot, to be maintained by the homeowners association (HOA). The subdivision was originally approved in 2004 and was to be developed by Rosol Construction. After the completion of four homes and some of the infrastructure, activity ceased and the remaining property remained undeveloped. In 2011, Greenscape Homes, LLC purchased the remaining lots and resubdivided the property to provide a naturalized stormwater management basin in accordance with Resolution 00-04856. Since that time they have constructed eight homes on the remaining lots and completed the public improvements. The public improvements Greenscape Homes installed have been inspected and recommended for acceptance by staff. Public improvements include the streets, sidewalks, lighting and other infrastructure within the Right of Way. The stormwater management basin is considered a public improvement, but will be maintained by the HOA.

Special Service Area (SSA) No. 4 was established through ORD 5288. The SSA serves as a safeguard in the event that the HOA cannot or does not maintain the common areas including the stormwater infrastructure and detention area. With the acceptance of the public improvements the two-year maintenance period will begin and an appropriate letter of credit will be in place to guarantee the work during the maintenance period.

ATTACHMENTS

Resolution

RESOLUT	ION NO.	

A RESOLUTION AUTHORIZING ACCEPTANCE OF PUBLIC IMPROVEMENTS - GREEN ACRES SUBDIVISION

WHEREAS, The Village Council has previously approved final plans for the Green Acres Subdivision; and,

WHEREAS, Naniel Newlon, Director of Public Works, has recommended acceptance of these public improvements.

NOW, THEREFORE, BE IT RESOLVED by the Village Council of The Village of Downers Grove, DuPage County, Illinois, as follows:

- That the Village hereby accepts those municipal public improvements constructed as part of the
 Green Acres Subdivision generally located on the west side of Fairview Avenue, north of 66th
 Street, in accordance with the approved plans and specifications, as more accurately depicted on
 attached Exhibit A.
- 2. That the Irrevocable standby letter of credit, in the original amount of \$101,434.30 submitted by Greenscape Homes, LLC is hereby reduced to the amount of \$20,286.86 to ensure the maintenance of the Public Improvements in accordance with Section 20.407 of the Village Code.
- 3. That the proper officials, agents and employees of the Village are hereby authorized and directed to take such further action as they may deem necessary or appropriate to perform all obligations and commitments of the Village in accordance with the provisions of the Resolution.
- 4. That all resolutions or parts of resolutions in conflict with the provisions of the Resolution are hereby repealed.
- 5. That this Resolution shall be in full force and effect from and after its passage as provided by law.

	Mayor	
Passed:		
Published:		
Attest:		
Village Clerk		

PROPOSED SITE IMPROVEMENTS FOR

GREEN ACRES OF DOWNERS GROVE

FAIRVIEW AVENUE AT 65TH STREET VILLAGE OF DOWNERS GROVE, ILLINOIS

INDEX OF PLAN SHEETS

- 2. GENERAL NOTES
- 2. DETAILS
- 4. DETAILS
- 5. PLAT OF SURVEY
- 6. GEOMETRY PLAN
- 7. UTILITY PLAN
- 8. GRADING PLAN
 9. PLAN AND PROFIE DAVANE LANE / LYNN G. COURT
- 10. PLAN AND PROFILE SANITARY SEWER
- 11. EROSION CONTROL PLAN
- 12. UTILITY SERVICE PLAN
- 13. FINAL PLAT OF SUBDIVISION
- 14. FINAL PLAT OF SUBDIVISION
- 15. TEMPORARY DETENTION & UTILITY PLAN
- 16. TEMPORARY EROSION CONTROL PLAN

BENCHMARK

DUPAGE COUNTY BENCHMARK NUMBER DGN28003 IS A BRONZE DISK MONUMENT ESTABLISHED IN THE CONCRETE BASE OF THE TRAFFIC CONTROL LIGHT STAMPED 'DUPAGE COUNTY MAPS AND PLATS' AT THE CORNER OF FAIRVIEW AVENUE AND 75TH STREET. VERTICAL DATUM: NAVD 29 ELEVATION=779.99 (USGS)

CONVERSION: SUBTRACT 13' FROM USGS BENCHMARK TO OBTAIN VILLAGE OF DOWNERS GROVE DATUM.

LEGAL DESCRIPTION

THE SOUTH 145.15 FEET OF THE EAST HALF OF THE EAST HALF OF THE NORTHEAST QUARTER, (EXCEPT FAIRVIEW AVENUE), ALSO THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, (EXCEPT FAIRVIEW AVENUE), AND THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, (EXCEPT FAIRVIEW AVENUE) ALSO KNOWN AS LOT 2 IN REHAK'S ASSESSMENT, ALL IN SECTION 20, TOWNSHIP 38 NORTH, RANGE II EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

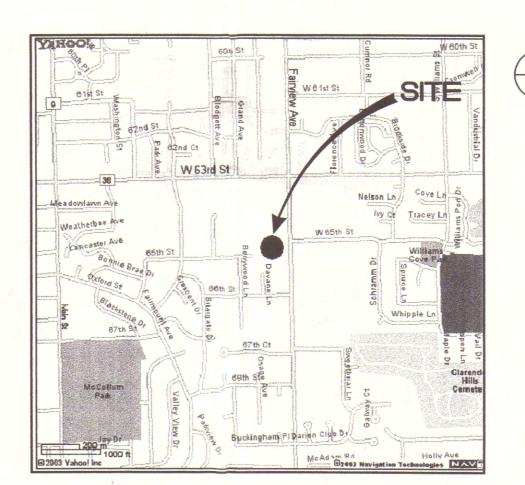
© Copyright, 2004 C. M. Lavoie & Associates, Inc.

These plans are protected under the copyright laws of the United States and foreign countries, and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans,

constitutes a violation of the Engineer's copyright of these plans and is prohibited.



2004



SITE LOCATION

PLANS PREPARED FOR:

ROSOL CONSTRUCTION, INC. 1129 FAIRVIEW AVENUE WESTMONT, IL 60559 (630) 971-0996 T (630) 971-3975 F

PLANS PREPARED BY:



Consulting Civil Engineering
Land Planning & Surveying
633 Rogers Street
Downers Grove, Illinois 60515
voice 630-434-2780
fax 630-434-2781

APPROVED APPROVED BY DOWNERS GROVE, ILLINOIS

BY_______TITLE_______

REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11, 2004

- 1. NO REVISIONS THIS SHEET.
- REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER DATED 2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04.
- 1. NO REVISIONS TO THIS SHEET.
- REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE DATED MARCH 9, 2004
- 1. CHANGED NAME OF ROSOL COURT TO LYNN G. COURT

 REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE
 SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4,
 - 1. REVISED INDEX TO REFLECT SHEET 15 ADDITION.
- REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.
- 1. NO REVISIONS TO THIS SHEET.
- REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9, 2004.
- 1. REVISED INDEX TO REFLECT SHEET 16 ADDITION.

LEGEND

EXISTING STORM MANHOLE PROPOSED INLET **EXISTING INLET** PROPOSED FIRE HYDRANT **EXISTING FIRE HYDRANT** PROPOSED VALVE AND VAULT EXISTING VALVE AND VAULT PROPOSED VALVE BOX PROPOSED CATCH BASIN EXISTING CATCH BASIN PROPOSED SANITARY MANHOLE **EXISTING SANITARY MANHOLE** PROPOSED B BOX **EXISTING VALVE BOX** PROPOSED WATERMAIN EXISTING WATERMAIN PROPOSED SANITARY SEWER **EXISTING SANITARY SEWER** PROPOSED STORM SEWER **EXISTING STORM SEWER** HIGH WATER LEVEL NORMAL WATER LEVEL **EXISTING CONTOUR** PROPOSED CONTOUR PROPOSED SILT FENCE STRAW BALES **EMERGENCY FLOOD ROUTE** APPROXIMATE GARAGE LOCATION PROPOSED LIGHTPOLE

File Copy

8°W

- NWL

632-

----632----

CURRENT REVISION DATE: 6/12/

I, MICHAEL D. COOK, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY C.M. LAVOIE AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION.

ILLINOIS PROFESSIONAL ENGINEER NO. 0062-052101

CML PROJECT NUMBER: 03-164

M:\03-164\dwg\Final Drawings\onsite\01-Cover.dwg, 6/14/2004 12:55:25 PM, HP DesignJet 1055CM (mal) b

MAY 13 2005

<u>GENERAL NOTES</u>

1. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSION OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION. THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

- 2. THE STANDARD SPECIFICATIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED PART OF THE CONTRACT.
- 3. THE CONTRACTORS FOR ALL CONTRACTS SHALL NOTIFY J.U.L.I.E., THE SANITARY DISTRICT, AND ANY APPLICABLE ENGINEERING OR BUILDING DEPARTMENTS TWO (2) WORKING DAYS MINIMUM PRIOR TO START OF WORK. AS REQUIRED, THE UTILITY COMPANIES WILL ESTABLISH ON THE GROUND, THE LOCATION OF UNDERGROUND PIPES, CONDUITS OR CABLES ADJOINING OR CROSSING PROPOSED CONSTRUCTION.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT UNDERGROUND CONSTRUCTION SHALL COMPLY WITH "THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", ADOPTED MAY 1996 OR
- 5. ALL EXCAVATION WORK SHALL COMPLY WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.", ADOPTED JANUARY 1, 2002 OR LATEST REVISION.
- 6. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, THE VILLAGE \ CITY AND THEIR AGENTS FROM ALL LIABILITY INVOLVED IN THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS
- 7. WHEN A CONFLICT BETWEEN PLANS AND SPECIFICATIONS OR NOTES OCCURS, THE ENGINEER SHALL DECIDE WHICH GOVERNS. GENERALLY, THE MORE RESTRICTIVE, MORE SPECIFIC OR STRICTER PROVISION SHALL GOVERN.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL AREAS AFFECTED BY EQUIPMENT OR LABORERS TO EXISTING CONDITIONS. CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL COMPLETION
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY ROAD OR MATERIAL THAT IS FROM THE PROJECT. THE CONTRACTOR SHALL CLEAN THE STREETS ON A DAILY BASIS. THIS WILL BE DONE AT THE CLOSE OF EACH DAY OF WORK OR MORE FREQUENTLY AS MAY BE REQUIRED DUE TO FIELD CONDITIONS.
- 10. THE CONTRACTOR IS TO VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE DESIGN ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCIES ARE RESOLVED.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE TRAFFIC CONTROL AND PROTECTION OF ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS, TRAFFIC CONTROL AND PROTECTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE ARTICLES OF SECTION 100 AND 700 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" ADOPTED JANUARY 1, 2002, AND THE LATEST EDITION OF THE "ILLINOIS MANUAL, ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- 12 WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL WILL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION. ALL SAFETY REQUIREMENTS PROVIDED BY THE VILLAGE/CITY AND/OR OSHA SHALL BE ADHERED TO BY THE CONTRACTOR DURING CONSTRUCTION OPERATIONS.
- 14. DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHALL INSURE POSITIVE SITE DRAINAGE AT THE CONCLUSION OF EACH DAY. SITE DRAINAGE MAY BE ACHIEVED BY DITCHING, PUMPING, OR ANY OTHER METHOD ACCEPTABLE TO THE ENGINEER. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT
- 15. ALL CONSTRUCTION WILL BE INSPECTED BY THE VILLAGE \ CITY ENGINEER OR HIS REPRESENTATIVE. SPECIFICALLY ALL TRENCHES AND SEWERS SHALL BE LEFT OPEN BUT SAFELY BARRICADED UNTIL INSPECTED AND APPROVED BY THE VILLAGE/CITY ENGINEER. PAVEMENT SUBBASE, BASE, AND SURFACE MUST EACH BE INSPECTED BY THE ENGINEER PRIOR TO THE NEXT PHASE OF WORK. PROOF ROLLING AND NUCLEAR DENSITY
- 16. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BY OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 17. THE CONTRACTOR IS TO VERIFY ALL FIELD CONDITIONS, PROPOSED IMPROVEMENTS, AND ELEVATIONS PRIOR TO THE START OF WORK AND, IF THERE ARE ANY DISCREPANCIES, IS TO NOTIFY THE DESIGN ENGINEER AT ONCE. NO WORK SHALL BE DONE UNTIL THE DISCREPANCIES ARE RESOLVED.
- 18. ALL SHRUBS, TOPSOIL, OR EXCAVATION MATERIAL AND ANY OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF AT AN OFF-SITE LOCATION. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST, T-180-74, (ASTM-D-1557) IN PAVED AREAS. THE OWNER'S SOILS ENGINEER SHALL EVALUATE AND APPROVE THE EXCAVATION, FILL PLACEMENT, AND COMPACTION PRIOR TO PAVEMENT CONSTRUCTION. THE CONTRACTOR SHALL GIVE THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK FORTY-EIGHT (48) HOURS NOTICE BEFORE WORK COMMENCES.
- 19. ANY WATER AND WASTEWATER UTILITIES AFFECTED BY CONSTRUCTION, INCLUDING GRADES, MUST BE BROUGHT TO CURRENT VILLAGE OR CITY STANDARDS AT THE CONTRACTOR'S EXPENSE.
- 20. EXISTING UTILITIES, TREES, STREETS, AND PRIVATE PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION BY THE CONTRACTOR. ANY DAMAGES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 21. THE CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENTATION CONTROL AT AREAS DESIGNATED ON THE SITE PLAN. ADDITIONAL MEASURES SHALL BE PROVIDED AS DEEMED NECESSARY BY THE VILLAGE, CITY OR THE DESIGN ENGINEER AT CONTRACTOR'S EXPENSE.
- 22. ALL HANDICAP PROVISIONS SHALL BE IN ACCORDANCE WITH THE "AMERICAN DISABILITIES ACT" (ADA) DATED NOVEMBER 29, 1990 OR LATEST REVISION.
- 23. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINATION OF THE ENGINEERING PLANS AND SPECIFICATIONS AND THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID, AND NOTIFYING THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
- 24. THE CONTRACTOR IS RESPONSIBLE FOR THE OBTAINING OF ANY NECESSARY PERMITS NOT PREVIOUSLY APPLIED FOR BY THE OWNER AND POSTING OF THE NECESSARY BONDS.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION OF THE START OF CONSTRUCTION TO ALL JURISDICTIONAL AGENCIES, UTILITY COMPANIES, AND THE ENGINEER, AT LEAST TWO (2) WORKING DAYS PRIOR TO SAID START. ALL EXISTING UTILITIES MUST BE STAKED PRIOR TO CONSTRUCTION. VILLAGE OR CITY ENGINEERING DIVISION SHALL BE NOTIFIED 48 HRS. IN ADVANCE.
- 26. THE CONTRACTOR IS RESPONSIBLE FOR CALLING ATTENTION TO THE OWNER OF ANY ERRORS OR DISCREPANCIES WHICH MAY BE SUSPECTED IN LINES AND GRADES WHICH ARE ESTABLISHED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THE LINES AND GRADES, WHICH ARE BELIEVED TO BE IN ERROR, HAVE BEEN VERIFIED OR CORRECTED BY THE OWNER. ADDITIONAL STAKING THAT MAY BE REQUIRED DUE TO THE CONTRACTOR NEGLIGENCE, SHALL BE PAID FOR BY THE CONTRACTOR.
- 27. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND HEALTHFUL WORKING CONDITION THROUGHOUT THE PROSECUTION OF THE CONSTRUCTION WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: THE REMOVAL OF DEBRIS, THE PROTECTING OF CONSTRUCTION BARRICADES, AND THE KEEPING OF PUBLIC STREET PAVEMENTS CLEAN OF CONSTRUCTION DIRT AND DEBRIS, SECURING OPEN EXCAVATIONS, AND FOLLOWING ALL SAFETY MEASURES REQUIRED BY THE GOVERNING AUTHORITIES.
- 28. THE CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION TO THE ORIGINAL CONDITION OR BETTER OF ANY OFF SITE AREAS THAT ARE DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION.
- 29. THE CONTRACTOR IS RESPONSIBLE FOR THE TESTING OF MATERIALS, IF REQUIRED BY THE OWNER AND/OR THE JURISDICTIONAL AGENCIES.
- 30. THE CONTRACTOR IS RESPONSIBLE FOR THE GUARANTEE OF ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR UPON FINAL ACCEPTANCE BY THE OWNER AND THE JURISDICTIONAL AGENCIES.

© Copyright, 2004 C. M. Lavoie & Associates, Inc.

These plans are protected under the copyright laws of the United States and foreign countries and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

- 31. ALL LANDSCAPE, SOD AND SEEDING AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL TO achieve the final grades shown on the final engineering plans.
- 32. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT, BUILDING, AND OR LOAD BEARING STRUCTURES AS DETERMINED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE
- 33. THE QUANTITIES AS SHOWN IN THE ENGINEER'S "QUANTITY ESTIMATE" ARE THOSE ESTIMATED BY THE ENGINEER AND ARE PROVIDED SOLELY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR BY CHOOSING TO UTILIZE THESE QUANTITIES IN THE PREPARATION OF HIS "LUMP SUM" BID, ALSO ACCEPTS THEIR ACCURACY. THE CONTRACTOR IS THEREFORE ENCOURAGED TO MAKE HIS OWN INDEPENDENT EARTHWORK CALCULATION, AND TO VISIT THE SITE PRIOR TO THE PREPARATION OF HIS BID.
- 34. CONDUIT TO BE PROVIDED UNDER PAVEMENT FOR ALL SERVICE UTILITIES SUCH AS, BUT NOT LIMITED TO GAS, FLECTRIC, TELEPHONE, AND CABLE AS DEEMED NECESSARY BY THE OWNER. ALL CONDUIT SHALL MEET UTILITY COMPANY SPECIFICATIONS. CONDUIT SHOWN HEREON IS APPROXIMATE. IN SIZE AND LOCATION. ALL SPECIFICATIONS SHALL BE CONFIRMED WITH THE UTILITY COMPANY PRIOR TO INSTALLATION., TELEPHONE, AND CABLE AS DEEMED NECESSARY BY THE OWNER. ALL CONDUIT SHALL MEET UTILITY COMPANY SPECIFICATIONS CONDUIT SHOWN HEREON IS APPROXIMATE IN SIZE AND LOCATION. ALL SPECIFICATIONS SHALL BE CONFIRMED WITH THE UTILITY COMPANY PRIOR TO INSTALLATION.

EARTHWORK IMPROVEMENTS

TOPSOIL EXCAVATION INCLUDES: 1, EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL, IN ORDER TO ACHIEVE THE PLAN SUB GRADE

- 2. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL.
- 3. COMPACTION OF THE EXCAVATED MATERIAL WHERE PLACED IN AREAS NOT REQUIRING STRUCTURAL FILL
- 4. EXCESS MATERIALS IF NOT UTILIZED AS FILL OR IF NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF BY THE CONTRACTOR.
- EARTH EXCAVATION INCLUDES:
 1. EXCAVATION OF EARTH AND OTHER MATERIALS ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN THE TOLERANCE OF 0.3 FEET (+/-) OF THE PLAN SUBGRADE ELEVATIONS. THE (+/-) TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIAL SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.
- 2. PLACEMENT OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRI STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.3 FEET (+/-). The material shall be placed (8) inches in Thickness, and the water content shall be ADJUSTED IN ORDER TO ACHIEVE THE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE BUILDING SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- 3. COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 95% OF THE STANDARD PROCTOR DRY DENSITY, ASTM 698 WITHIN PROPOSED PAVEMENT AND BUILDING AREAS. MODERATE COMPACTION IS REQUIRED ELSEWHERE.
- 4. EXCESS MATERIAL IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF BY THE CONTRACTORS.
- GENERAL. THE GRADING CONTRACTOR SHALL:

 1. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT
- STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. 2. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER
- COMPLETION OF THE UNDERGROUND IMPROVEMENTS. 3. SCARIFY AND COMPACT TO THE DEGREE SPECIFIED THE UPPER TWELVE (12) INCHES OF THE SUITABLE
- SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS. 4. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE
- PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION. 5. BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES"
- AS ASSIGNED TO THE GRADING CONTRACTOR ON THE ENGINEERING PLAN. 6. GRADE PUBLIC UTILITY EASEMENTS TO MEET THE REQUIREMENTS OF THE LOCAL PUBLIC UTILITY COMPANIES.
- 1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TRUCK FOR PROOF ROLLING
- THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND CUTTER AND THE BASE MATERIAL. 2. SPECIFIC COMPACTION TESTING WAY BE REQUIRED BY THE OWNER IN SELECTED FILL AREAS. THE CONTRACTOR SHALL BEAR THE COST OF ANY COMPACTION TESTING WHICH DOES NOT MEET SPECIFICATION AS

WELL AS THE RESPONSIBILITY AND COST FOR THE NECESSARY CORRECTION(S).

- 3. APPROVAL OF THE PAVEMENT SUBGRADE BY THE OWNER SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE PAVEMENT MATERIALS.
- 1. AS-BUILT MEASUREMENTS OF EARTHWORK FOR THE PURPOSE OF PAYMENT SHALL NOT APPLY. THE QUANTITIES SHOWN IN THE ENGINEER'S "QUANTITY ESTIMATE" SHALL BE UTILIZED UNLESS SAID QUANTITIES ARE ADJUSTED BY MUTUAL CONSENT OR BY THE OWNER AND CONTRACTOR PRIOR TO THE SIGNING AND ACCEPTANCE
- 2. THE QUANTITIES AS SHOWN IN THE ENGINEER'S "QUANTITY ESTIMATE" ARE THOSE ESTIMATED BY THE ENGINEER AND ARE PROVIDED SOLELY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR, BY CHOOSING TO UTILIZE THESE QUANTITIES IN THE PREPARATION OF HIS "LUMP SUM" BID. ALSO ACCEPTS THEIR ACCURACY. THE CONTRACTOR IS THEREFORE ENCOURAGED TO MAKE HIS OWN INDEPENDENT EARTHWORK CALCULATION, AND TO VISIT THE SITE PRIOR TO THE PREPARATION OF HIS BID.
- 3. PRIOR TO THE REMOVAL OF UNSUITABLE MATERIAL, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR AUTHORIZATION TO REMOVE SAID MATERIAL. UPON AUTHORIZATION AND REMOVAL, THE UNSUITABLE MATERIAL SHALL BE FIELD MEASURED BY THE ENGINEER IN PLACE.

EROSION CONTROL

EROSION CONTROL MEASURES SHALL CONFORM TO "THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN NORTHEASTERN ILLINOIS" LATEST EDITION, AND FURTHER MEASURES AS DEEMED NECESSARY, TEMPORARY VEGETATION OR, WHEN APPROPRIATE, MULCHING OR OTHER NONVIABLE COVER SHALL BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT PERMANENT SEEDING AREAS SHALL RECEIVE 16 LBS/ACRE CREEPING RED FESCUE AND 68 LBS/ACRE KENTUCKY BLUEGRASS. STRAW BALES SHALL BE SPREAD AT RATE OF TWO BALES/ACRE IN ALL PERMANENT SEEDING AREAS. FERTILIZER SHOULD BE APPLIED PRIOR TO SEEDING AT THE FOLLOWING RATES:

NITROGEN 130 LBS/ACRE PHOSPHORUS 130 LBS/ACRE

POTASSIUM 130 LBS/ACRE

DOWNERS GROVE SANITARY DISTRICT

- A) POLYVINYL CHLORIDE PIPE (PVC) WITH A SDR 26, WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ASTM D2241, 160 PSI PRESSURE PIPE PUSH-ON BELL AND SPIGOT TYPE WITH RUBBER RING SEAL GASKET ASTM D3139, FOR CONSTRUCTION AND INSTALLATION.
- B) DUCTILE IRON SEWER PIPE (DIP), WHERE INDICATED ON THE PLANS, WHICH SHALL MEET OR EXCEED THE PERFORMANCE REQUIREMENTS OF ANSI A21.51, CLASS 52 W/ H2 SEWER SAFE (CEMENT LINED AND FUSED CALCIUM ALUMINATE MORTAR). FOR FURTHER INFORMATION REGARDING SPECIFICATIONS, PLEASE CONTACT MR. STEVE KELLY OF GRIFFIN PIPE PRODUCTS COMPANY AT (847) 253-9921.
- 2. JOINTS SHALL BE:

1. MATERIAL SHALL BE:

- A) FOR PVC; FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3139. B) FOR DIP; PUSH-ON (BELL-TITE) PER AWWA C111 AND C600.
- 3. BEDDING SHALL BE AS DETAILED ON THE ENGINEERING PLANS.
- 4. COVER OVER PUBLIC SEWERS SHALL BE A MINIMUM OF FIVE (5) FEET AND COVER OVER BUILDING SERVICES SHALL BE A MINIMUM OF FOUR (4) FEET. 5. SLOPE FOR A 6 INCH DIAMETER PIPE SHALL BE A MINIMUM 1.00%, FOR A 8 INCH DIAMETER PIPE SHALL BE A
- MINIMUM OF 0.43%, FOR A 10 INCH DIAMETER PIPE SHALL BE A MINIMUM OF 0.30%. 6. WYES SHALL BE PROVIDED ON THE NEW SANITARY SEWERS FOR PROPOSED BUILDING SERVICES. ALL CONNECTIONS TO EXISTING SANITARY SEWERS SHALL BE MADE BY MACHINE TAP. THE CONNECTION SHALL BE
- MADE WITH A GENECO SEALTITE SEWER SADDLE (MODEL S). 7. "FLEX SEAL" NON-SHEAR COUPLINGS (WITH STAINLESS STEEL SHEAR RING) SHALL BE USED WHEN JOINING PIPES OF DISSIMILAR MATERIALS OR SIZES.
- 8. SIZES SHALL BE AS INDICATED ON THE ENGINEERING PLAN.
- 9. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DOWNERS GROVE SANITARY DISTRICT STANDARD SPECIFICATIONS AND WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AS ADOPTED MAY 1996.

PAVING IMPROVEMENTS

- 1. FINE GRADING SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.1 FEET +/- OF THE FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE PROPOSED CURB.
- 2. CURB AND GUTTER SHALL BE THE TYPE AS DETAILED ON THE ENGINEERING PLANS. THE CURB SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION PRIOR TO THE PLACEMENT OF THE BASE COURSE.
- 3. PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
- 4. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
- A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
- B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT

TESTING AND FINAL ACCEPTANCE

- PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE APPROVED BY THE LOCAL jurisdictional authority. (see "testing and final acceptance for earthwork").
- 2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, IF REQUESTED TO BY THE OWNER, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED BY the engineer, for the purpose of thickness verification. Coring shall be in accordance with the APPLICABLE PROVISIONS OF ART.406.16 OF THE STANDARD SPECIFICATION ENTITLED "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". THE COST FOR OBTAINING CORES WHICH ARE LESS THAN THE MINIMUM THICKNESS SPECIFIED SHALL BE BORNE BY THE CONTRACTOR. THE COST FOR OBTAINING CORES WHICH WEET OR EXCEED THE SPECIFICATION SHALL BE BORNE BY THE OWNER.
- 3. DEFICIENCIES IN THE BITUMINOUS CONCRETE BINDER COURSE SHALL BE ADJUSTED FOR BY INCREASING THE PLAN THICKNESS OF THE SURFACE COURSE WITH NO ADDITIONAL COST TO THE OWNER.
- 4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
- 5. WALKS SHALL BE P.C. CONCRETE (3500 PSI) 5' WIDE OR AS SPECIFIED IN THE PLANS AND A THICKNESS NOT LESS THAN 5"; EXPANSION JOINTS AT 50' INTERVALS; W/ CONTRACTION JOINTS EVERY 5'. BEDDING SHALL BE CA-6 3" MINIMUM DEPTH. 2-#4 REBARS, 10" EITHER SIDE ALL UTILITY CROSSINGS.
- 1. CURB AND GUTTER, AND BASE COURSE SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR. THE QUANTITIES SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION.
- . WHEN REQUESTED, DOCUMENTATION FOR THE INSTALLED BASE COURSE, BITUMINOUS CONCRETE BINDER, AND SURFACE COURSE, SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION. DEFICIENCIES IN TOTAL BITUMINOUS CONCRETE PAVEMENT THICKNESS SHALL BE ADJUSTED FOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONAL AUTHORITY.

- 1. CURB AND GUTTER SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE / LINEAL FOOT. 2. PRIME COAT MATERIAL SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER GALLON.
- BASE COURSE SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER SQUARE YARD. 4. BITUMINOUS CONCRETE SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER TON.

SANITARY SEWER SYSTEM

- 1. ALL DEVELOPMENT, WHETHER PUBLIC OR PRIVATE, SHALL INCLUDE PROVISIONS FOR THE CONSTRUCTION OF SANITARY SEWERS AND APPURTENANCES DESIGNED IN ACCORDANCE WITH THIS SECTION DEVELOPERS SHALL USE EITHER THE PUBLIC SEWER SYSTEM OR AN ALTERNATIVE SEWER SYSTEM, CERTIFIED BY THE AGENCY OR MUNICIPALITY WITH JURISDICTION AUTHORITY, PROVIDED THAT THE DEVELOPMENT IS PROXIMATE TO A TRANSMISSION LINE THAT HAS ADEQUATE CAPACITY TO HANDLE SUCH PROPOSED DEVELOPMENT.
- 2. THE DOWNERS GROVE SANITARY DISTRICT STANDARDS AND ORDINANCES SHALL GOVERN ALL SANITARY SEWER CONSTRUCTION.
- 3. ALL SANITARY IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL INSTALLATION AND TESTING REQUIREMENTS OF THE "STANDARD SPECIFICATION FOR THE WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, UNLESS OTHERWISE MODIFIED IN THIS SECTION

PROTECTION OF WATER MAINS

1. WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH THE APPLICABLE ILLINOIS POLLUTION CONTROL BOARD REGULATION AND THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, DIVISION OF PUBLIC WATER SUPPLIES. TECHNICAL POLICY STATEMENTS. WHEREVER THE SANITARY SEWER MAIN. BUILDING SERVICE SEWER OR AN) STORM DRAIN CROSSES A WATER MAIN, A MINIMUM EIGHTEEN (18) INCHES VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN THE TOP OF THE LOWER PIPE AND THE BOTTOM OF THE UPPER PIPE. IF AN EIGHTEEN (18) INCH VERTICAL SEPARATION CANNOT BE MAINTAINED, THE SANITARY OR STORM SEWER SHALL BE CONSTRUCTED OF WATERMAIN QUALITY PIPE, FOR A MINIMUM DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE WATER MAIN. IF STORM OR SANITARY SEWER CROSSES ABOVE A WATERMAIN AND AN EIGHTEEN (18) INCH CLEARANCE CANNOT BE MAINTAINED, BOTH SEWER AND WATER PIPES MUST BE OF THE SAME PIPE MATERIAL AS THE WATERMAN.

INSPECTION AND TEST

A. GENERAL

- 1. THE SEWER CONTRACTOR SHALL SCHEDULE WITH THE DISTRICT A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION.
- 2. THE SEWER CONTRACTOR SHALL SCHEDULE WITH THE DISTRICT INSPECTIONS OF THE SANITARY SEWER CONSTRUCTION 48 HOURS IN ADVANCE OF THE START OF CONSTRUCTION (630-969-0664).
- 3. ALL REQUIRED TESTING AND CORRECTION OF ANY DEFECTS OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED BEFORE CURB AND GUTTER OR OTHER ROADWAY WORK BEGINS.
- 4. THE CONSTRUCTED SEWERS SHALL PASS ALL DISTRICT REQUIREMENTS FOR AIR, TELEVISING, DEFLECTION, AND MANHOLE VACUUM TESTS.
- ALL SEWERS AND APPURTENANCES SHALL BE HIGH PRESSURED CLEANED PRIOR TO INSPECTION AND TESTING REQUIRED BY THE SECTION.
- 1. THE ENTIRE BUILDING SANITARY SERVICE SHALL BE AIR TESTED FROM THE PUBLIC SEWER TO THE BUILDING, INCLUIDING THE MACHINE TAP, WYE OR TEE, THE OUTSIDE CLEANOUT(S) AND ALL SERVICE PIPING, IF A NEW WYE OR TEE IS INSTALLED ON AN EXISTING PUBLIC SEWER, THE PIPE CONNECTIONS ON THE PUBLIC SEWER ON BOTH SIDES OF THE WYE OR TEE MUST ALSO BE AIR TESTED, AS DESCRIBED IN ITEM 11.

2. PRIOR TO TESTING, FLUSH AND CLEAN THE SEWERS BY A METHOD ACCEPTABLE TO THE DISTRICT. IF A NEW

- WYE OR TEE IS INSTALLED ON A EXISTING PUBLIC SEWER, CLEAN THE INSIDE OF ALL EXISTING PIPES TO ALLOW THE TEST PLUGS TO PROPERLY SEAL DURING TESTING. 3. ISOLATE THE BUILDING SANITARY SERVICE FROM THE EXISTING PUBLIC SEWER BY INSTALLING TWO ARTIGHT
- PLUGS IN THE PUBLIC SEWER, BY INSTALLING ONE AIRTIGHT PLUG WITH A VOID POSITIONED AT THE CONNECTION BETWEEN THE BUILDING SERVICE CONNECTION AND THE PUBLIC SEWER, OR BY OTHER METHOD ACCEPTABLE TO THE DISTRICT.
- 4. INSTALL AN AIRTIGHT PLUG ON THE CLEANOUT INSIDE THE BUILDING

GREATER THAN ANY GROUNDWATER HYDROSTATIC PRESSURE.

- 5. PROPERLY BRACE THE OUTSIDE CLEANOUT CAP AND COLLAR TO WITHSTAND AIR TESTING. 6. WHENEVER THE SEWER TO BE TESTED IS SUBMERGED UNDER GROUNDWATER, DETERMINE THE GROUNDWATER HYDROSTATIC PRESSURE BY A METHOD APPROVED BY THE DISTRICT.
- 7. ADD AIR TO THE PLUGGED SEWER SECTIONS UNDER TEST THROUGH THE CLEANOUT OR PUBLIC SEWER PLUG UNTIL INITIAL AIR PRESSURE REACHES 4.0 PSIG GREATER THAN ANY GROUNDWATER HYDROSTATIC PRESSURE.

8. ALLOW AT LEAST TWO MINUTES FOR AIR TEMPERATURE TO STABILIZE, ADDING AIR TO MAINTAIN THE INITIAL

- 9. SHUT OFF THE AIR SUPPLY AFTER STABILIZING THE AIR TEMPERATURE AND RECORD THE TIME IN SECONDS USING AN APPROVED STOPWATCH FOR THE INTERNAL SEWER PRESSURE TO DROP FROM 3.5 PSIG TO 2.5 PSIG
- 10. THE BUILDING SANITARY SERVICE SHALL PASS IF THE RECORDED TIME FOR THE ALLOWABLE PRESSURE DROP EQUALS OR EXCEEDS 2 MINUTES FOR A 4-INCH AND 6-INCH DIAMETER SERVICE LESS THAN 300 FEET IN TOTAL LENGTH. THE MINIMUM ALLOWABLE TIME FOR LARGER PIPE DIAMETERS OR LONGER PIPE LENGTHS WILL BE DETERMINED BY THE DISTRICT.

- 11. THE INDIVIDUAL PIPE JOINTS ON EITHER SIDE OF A NEW WYE OR TEE INSTALLED ON AN EXISTING PUBLIC SEWER SHALL ALSO BE AIR TESTED AS FOLLOWS:
- A) COMPLY WITH REQUIREMENTS OF ASTM C1103-90 B) UTILIZE COMMERCIALLY AVAILABLE TEST APPARATUS WITH TWO SEPARATE INFLATABLE SEALING RINGS OR PLUGS, OR ONE PLUG WITH A VOID POSITIONED AT THE CENTER, AT LEAST 2.50 INCHES, BUT NO MORE THAN 2
- C) ACCEPTABLE MAXIMUM AIR LOSS IS 1 PSI IN 5 SECONDS.
- D) TEST PRESSURE IS 3.5 PSI HIGHER THAN GROUNDWATER PRESSURE, BUT DO NOT USE A TEST PRESSURE
- E) PROVIDE TEST APPARATUS THAT ALLOWS REMOTE MONITORING OF TEST BY THE DISTRICT. 12. IF THE AIR TEST FAILS TO MEET THESE REQUIREMENTS, LOCATE AND REPAIR, OR REMOVE AND REPLACE THE FAULTY SECTIONS OF SEWER IN A MANNER APPROVED BY THE DISTRICT, AS NECESSARY TO MEET THE ALLOWABLE LIMITS UPON RETESTING. THE USE OF ACRYLAMID GEL SEALANT IS NOT AN ACCEPTABLE METHOD TO
- 13. PROVIDE AND USE EQUIPMENT AND MEASURING DEVICES ACCEPTABLE TO THE DISTRICT.
- 14. ALL AIR TESTING FOR ACCEPTANCE SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE DISTRICT, THE CONTRACTOR SHALL NOTIFY THE DISTRICT 48 HOURS PRIOR TO TESTING.
- 15. AIR TESTING TECHNIQUES SHALL BE IN ACCORDANCE WITH THE LATEST ASTM STANDARD PRACTICE FOR TESTING SEWER LINES BY LOW-PRESSURE AIR TEST METHOD FOR THE APPROPRIATE PIPE MATERIAL.
- 16. AIR TESTING MAY NOT BE PERFOMED UNTIL THE SANITARY SERVICE TRENCH HAS BEEN COMPETELY
- 1. THE ENTIRE BUILDING SANITARY SERVICE SHALL BE TELEVISED FROM THE PUBLIC SEWER TO THE BUILDING, INCLUIDING THE MACHINE TAP, WYE OR TEE, THE OUTSIDE CLEANOUT(S) AND ALL SERVICE PIPING.
- 2. THE CONSTRUCTED SEWERS MUST BE TELEVISED UNDER SIMULATED FLOW CONDITIONS. DISTRICT PERSONNE MUST BE PRESENT DURING TELEVISING. NO SAGS GREATER THAN 25% OF THE PIPE DIAMETER WILL BE ACCEPTED. ALL UNACCEPTABLE SAGS MUST BE REPLACED IN A MANNER ACCEPTABLE TO THE DISTRICT.
- 3. PRIOR TO TELEVISING, FLUSH AND CLEAN THE SEWERS BY A METHOD ACCEPTABLE TO THE DISTRICT PROVIDE PREPARATORY CLEANING OF THE SEWER TO PERMIT UNOBSTRUCTED PASSAGE OF THE TELEVISION CAMERA AND CLEAN ENOUGH FOR THE CAMERA TO DISCERN STRUCTURAL DEFECTS, MISALIGNMENT, AND POINTS OF INFILTRATION TO THE SATISAFACTION OF THE DISTRICT.
- 4. PROVIDE THE DISTRICT A VHS VIDEO RECORDING OF THE TELEVISING. SET VIDEO RECORDER TO STANDARD PLAY (SP) MODE.
- 5. BEGIN EACH TAPE WITH THE CURRENT DATE AND THE BEGINNING FOOTAGE COUNT SUPERIMPOSED ON THE VIDEO SIGNAL PROVIDE CONTINUOUS FOOTAGE COUNTER ON ALL VIDEO RECORDINGS.
- 6. Professionally label all video tapes showing the building address, the date, and contractor's 7. MOVE THE CAMERA, AT A SPEED NO GREATER THAN 30 FEET PER MINUTE AND STOPPING AT ALL DEFECTS
- AND POINTS OF INFILTRATION TO PERMIT PROPER DOCUMENTATION OF THE SEWER CONDITION. 8. ALL TELEVISING FOR ACCEPTANCE SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE DISTRICT. THE CONTRACTOR SHALL NOTIFY THE DISTRICT 48 HOURS PRIOR TO TELEVISING. VIDEO TAPES SHALL BE TURNED IN
- 9. TELEVISING MAY BE PERFORMED AFTER THE SANITARY SERVICE HAS BEEN SUCCESSFULLY AIR TESTED AND ALL OUTSIDE CLEANOUTS HAVE BEEN ADJUSTED TO FINAL GRADE.
- 1. EACH MANHOLE SHALL BE TESTED NO SOONER THAN 30 DAYS AFTER COMPLETION OF MANHOLE
- 2. ALL LIFT HOLES SHALL BE PLUGGED WITH AN APPROVED NON-SHRINK GROUT.

IMMEDIATELY TO THE DISTRICT INSPECTOR UPON COMPLETION OF TELEVISING.

FROM BEING DRAWN INTO THE MANHOLE

- 3. NO GROUT WILL BE PLACED IN THE HORIZONTAL JOINTS BEFORE TESTING. 4. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUGS
- . THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE MANHOLE FRAME AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.
- 6. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9 INCHES. THE MANHOLE, SHALL PASS IF THE TIME IS GREATER THAN 60 SECONDS FOR A 48" DIAMETER MANHOLE, 75 SECONDS FOR 60", AND
- 7. IF THE MANHOLE FAILS THE INITIAL TEST, NECESSARY REPAIRS SHALL BE MADE WITH A NON-SHRINK GROUT. RETESTING SHALL PROCEED UNTIL A SATISAFACTORY TEST IS OBTAINED.
- PROCEDURE BY THE DISTRICT OR ITS AUTHORIZED REPRESENTATIVE(S). THE DISTRICT SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS PRIOR TO TESTING. ANY PIPING WITH DIPS, CRACKS, IMPROPERLY SEALED JOINTS, OR VARIATIONS FROM THE APPROVED GRADES AND

8. ALL MANHOLE TESTING FOR ACCEPTANCE SHALL BE DONE UNDER THE DIRECT SUPERVISION OF THE TEST

ALIGNMENT SHALL REPAIRED BY REMOVING AND REPLACING THE INVOLVED SECTIONS OF PIPE. THE REPAIRED

SECTION OF PIPE SHALL THEN BE RE-TESTED. THE VILLAGE ENGINEER MAY ALSO REQUEST OTHER TYPES OF

TESTING ON THE SANITARY SEWER INSTALLATION AS A CONDITION OF INITIAL ACCEPTANCE.

DISTRICT OF GREATER CHICAGO PRIOR TO THE ACCEPTANCE BY THE DIRECTOR OF ENGINEERING.

2. ONE MYLAR REPRODUCIBLE AND TWO BLUELINE COPIES SHALL BE SUBMITTED. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS AND ACCEPTANCE BY METROPOLITAN WATER RECLAMATION

1. PRIOR TO FINAL ACCEPTANCE OF WORK "RECORD" DRAWINGS SHALL BE SUBMITTED TO THE VILLAGE.

STORM SEWER AND STORM WATER DETENTION 1. ALL DEVELOPMENT, WHETHER PUBLIC OR PRIVATE, SHALL INCLUDE PROVISIONS FOR THE CONSTRUCTION OF

STORM SEWERS AND APPURTENANCES DESIGNED IN ACCORDANCE WITH THIS SECTION. DEVELOPERS SHALL USE

- EITHER THE PUBLIC SEWER SYSTEM OR AN ALTERNATIVE SEWER SYSTEM, CERTIFIED BY AN AGENCY OR MUNICIPALITY WITH JURISDICTIONAL AUTHORITY, PROVIDED THAT THE DEVELOPMENT IS PROXIMATE TO A Transmission line that has adequate capacity to handle such proposed development. 2. ALL DEVELOPMENT DESIGNATED BY THE DIRECTOR OF ENGINEERING SHALL INCLUDE PROVISIONS FOR STORM
- WATER HOLDING FACILITIES DESIGNED IN ACCORDANCE WITH THIS SECTION. THE STORM WATER HOLDING FACILITIES SHOULD INCORPORATE MULTIPLE USES WHERE PRACTICABLE. THE DETENTION, RETENTION OR DEPRESSIONAL STORAGE AREAS THAT ARE TO BE USED AS PART OF THE

DRAINAGE SYSTEM FOR A PROPERTY SHALL BE CONSTRUCTED AS THE FIRST ELEMENT OF THE INITIAL EARTHWORK

- PROGRAM. ANY ERODED SEDIMENT CAPTURED IN THESE FACILITIES SHALL BE REMOVED BY THE APPLICANT BEFORE PROJECT COMPLETION IN ORDER TO MAINTAIN THE DESIGN VOLUME OF THE FACILITIES. 3. STORM SEWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 600 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION," AND "STANDARD SPECIFICATIONS FOR WATER AND SEWER
- MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, UNLESS OTHERWISE MODIFIED IN THE SECTION. STORMWATER SYSTEM DESIGN SHOULD BE IN CONFORMANCE WITH ILLINOIS EPA STORMWATER PERMITTING REQUIREMENTS. IN PARTICULAR, A STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION SITE ACTIVITIES IS REQUIRED FOR LAND DISTURBANCES OF FIVE OR MORE ACRÈS. PÉRMIT REQUIREMENTS FOR A "STORNWATER POLLUTION PREVENTION PLAN" SPECIFICALLY REFERENCE THE NEED FOR STORMWATER DETENTION, VEGETATED SWALES AND NATURAL DEPRESSIONS, INFILTRATION MEASURES, AND VELOCITY DISSIPATION DEVICES TO CONTROL RUNOFF POLLUTANTS AND TO MAINTAIN PRE-DEVELPOPMENT HYDRO
- 1. SEWER PIPE CALL SHALL BE DETERMINED BASED UPON THE SPECIFICATION OF SECTION 603 OF THE
- "Standard specification for road and bridge construction." Latest edition. MATERIAL SPECIFICATION

ALL STORM SEWER SYSTEM ELEMENTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

REINFORCED CONCRETE ARCH CULVERT PIPE-MINIMUM CLASS HE-III OR VE-III, ASTM C507.

- SUMP PUMP SERVICE CONNECTION AND STORM SEWER EXTENSION (4" AND 6") ABS SEWER PIPE OR PVC SEWER PIPE ASTM D2751, SDR35, OR ASTM3034, SDR35, FLEXIBLE PLASTIC DRAIN PIPE CONCRETE SEWER PIPE (10" DIAMETER AND SMALLER), MINIMUM CLASS 3, ASTM C14. REINFORCED CONCRETE PIPE (12" DIAMETER AND LARGER), CIRCULAR REINFORCEMENT, MINIMUM CLASS 3, WALL B,
- PVC UNDERDRAIN PIPE (4", 6", AND 8") ASTM D2729, SDR35. 2. SEWER PIPE JOINTS:
- ARS PIPE—ASTM C443 PVC PIPE-ASTM D3212, PUSH-ON TYPE, EXCEPT UNDERDRAIN PIPE WHICH SHALL HAVE SOLVENT WELDED JOINTS. REINFORCED CONCRETE PIPE-ASTM C443. ("0" RING). USE PRE-FORMED RUBBER GASKET JOINTS. REINFORCED ARCH OR ELLIPTICAL PIPE-ASTM C877
- 3. CASING PIPES FOR AUGURED SLEEVES: STEEL PIPE-ASTM A120, 3/8" MINIMUM THICKNESS
 - √5\ REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.
 - 1. NO REVISIONS TO THIS SHEET.

- 4. MANHOLES AND CATCH BASINS:
 - PRECAST REINFORCED CONCRETE ASTM C478 AND ASTM C 443 SIZE: FOR SEWER 18" DIAMETER OR LESS, MANHOLE SHALL HAVE A 48" INSIDE DIAMETER. FOR SEWER 21" TO 36" DIAMETER, MANHOLE SHALL HAVE A 60" INSIDE DIAMETER FOR SEWER GREATER THAN 36" DIAMETER, MANHOLE SHALL HAVE AN OFFSET RISER PIPE OF 48" INSIDE
 - ADJUSTMENT" NO MORE THAN TWO (2) PRECAST CONCRETE ADJUSTING RINGS WITH SIX (6) INCH MAXIMUM HEIGHT ADJUSTMENT SHALL BE ALLOWED. PIPE AND FRAME SEALS: ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH PORTLAND CEMENT MORTAR, O-RING GASKETS OR MASTIC MATERIAL
 - BOTTOM SECTIONS: ALL BOTTOM SECTIONS SHALL BE MONOLITHICALLY PRECAST INCLUDING BASES AND INVERT FLOWLINES. MANHOLE STEPS -- EAST JORDAN IRON WORKS, INC. #8518. STEPS SHALL BE INSTALLED IN ALL STRUCTURES (STORM / SANITARY / WATER) AT 16 INCH CENTERS, WHERE THE DEPTH BETWEEN THE RIM AND THE BOTTOM OF THE STRUCTURE EXCEEDS FOUR FEET IN HEIGHT.
 - PRECAST REINFORCES CONCRETE ASTM C478 AND ASTM C443 SIZE: INLETS SHALL HAVE 24" INSIDE DIAMETER AND A MAXIMUM DEPTH OF FOUR (4) FEET ADJUSTMENT: NO MORE THAN TWO (2) PRECAST CONCRETE ADJUSTING RINGS WITH SIX (6) INCH MAXIMUM HEIGHT ADJUSTMENT SHALL BE ALLOWED ONLY ONE (1) PIPE CONNECTION IS ALLOWED AND IT SHALL BE PRECAST WITH PORTLAND CEMENT MORTAR, O-RING GASKETS OR MASTIC MATERIAL.
 - CASTINGS UNLESS OTHERWISE NOTED ON THE PLANS, THE FOLLOWING SHALL BE USED: MANHOLE FRAME AND COVER — EAST JORDAN IRON WORKS, INC. # 1060 AND TYPE A-CLOSE GRATE. CATCH BASIN INLET - EAST JORDAN IRON WORKS, INC. # 1060 AND TYPE MI-OPEN GRATE. THREE (3) INCH INLET AND CATCH BASIN INLET - EAST JORDAN IRON WORKS, INC. # 7520 AND TYPE M

BOTTOM SECTIONS: ALL BOTTOM SECTIONS SHALL BE MONOLITHICALLY PRECAST INCLUDING BASES AND

- CRUSHED GRAVEL OR CRUSHED STONE COURSE AGGREGATE ASTM C33, SIZE NO. 67
- 8. HEADWALLS AND PRECAST END SECTIONS: ALL PIPES SHALL TERMINATE AT REINFORCED CONCRETE HEADWALLS OR PRECAST END SECTIONS.

1. ALL DEVELOPMENT SHALL INCLUDE PROVISIONS FOR THE CONSTRUCTION OF WATER DISTRIBUTION FACILITIES COMPLETE WITH VALVES, FIRE HYDRANTS, AND OTHER APPURTENANCES DESIGNED IN ACCORDANCE WITH THIS SECTION. AS A MINIMUM, THE WATER DISTRIBUTION SYSTEM SHALL PROVIDE A SERVICE CONNECTION(S) AT THE APPROXIMATE MID-POINT OF THE PROPERTY LINE OF EACH INDIVIDUAL LOT OR PARCEL WITHIN THE DEVELOPMENT. WHERE MORE THAN ONE BUILDING IS LOCATED OR PLANNED ON ONE LOT OR PARCEL PER PROPERTY, OR WHEN WATER MAIN CONSTRUCTION IS REQUIRED ON THE PROPERTY FOR FIRE PROTECTION, THE PROPOSED CONSTRUCTION SHALL ALSO INCLUDE ALL WATER MAIN

CONSTRUCTION AND APPURTENANCES WITHIN THE LOT OR PARCEL EXCEPT SERVICES LINES.

- 2. SPECIFICATION REFERENCES MADE HEREIN FOR MANUFACTURED MATERIALS SUCH AS PIPE, HYDRANTS, VALVES AND FITTINGS REFER TO DESIGNATION THE AMERICAN WATER WORKS ASSOCIATION (AWWA) OR OF THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI). WATER DISTRIBUTION SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, UNLESS OTHERWISE MODIFIED IN THIS SECTION.
- MATERIAL SPECIFICATION AND DETAILS (ALL WATER DISTRIBUTION SYSTEM ELEMENTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:)
- PIPE CLASS THICKNESS ANSI A21.50 (AWWA C150), MINIMUM THICKNESS, CLASS 52
- PIPE LINING ANSI A21.4 (AWWA C104) FITTINGS - ANSI 21.10 (AWWA C110) ALL FITTINGS MUST HAVE RETAINING GLANDS JOINTS - MECHANICAL AND PUSH-ON, ANSI A21.11 (AWWA C111)

POLYVINYL WRAPPING OF ALL WATERMAINS IS REQUIRED.

- WATEROUS PACER MODEL WB-100 WITH A 5-1/4" VALVE OPENING, TWO (2) 2-1/2" HOSE NOZZLES, AND ONE (1) 4-1/2" PUMPER NOZZLE, AND SHALL BE EQUIPPED WITH NATIONAL STANDARD THREADS AND ALL CONNECTING PIPE BOTTOM FLANGES SHALL BE MECHANICAL JOINTS.
- ALL HYDRANTS SHALL BE PAINTED RUST SEAT #31-151 OSHA YELLOW, POLYURETHANE HIGH GLOSS ALL HYDRANTS MUST HAVE CONCRETE THRUST BLOCKS PER DETAILS.

TYLER 664-S, VALVE SHALL MATCH SAME MANUFACTURER AS HYDRANT AND SHALL CONNECT TO THE

LID EMBOSSED "WATER"

FIRE HYDRANT WITH A FLANGE CONNECTION.

PIPE - ANSI A21-51 (AWWA C152)

- FORD FB600 WITH LAO 4-44 SWIVEL COPPER TUBE, 2 INCH SMALLER, ASTM B88, TYPE K (1" MINIMUM)
- DUCTILE IRON, LARGER THAN 2-INCH, CONFORM TO SECTION C(1) ABOVE. COPPER SERVICE, FORD 844-444 DUCTILE IRON SERVICE, CONFORM TO SECTIONS C(2)(A) AND C(2)(C)
- 7. CURB BOX COPPER SERVICE, MUELLER H-10302 OR H-10304 OR FORD EA 26040

DUCTILE IRON SERVICE, 4-INCH AND SMALLER, CONFORM TO SECTION C(4) ABOVE.

- DUCTILE IRON SERVICE, 6-INCH AND LARGER, CONFORM TO SECTION C(12) BELOW. 8. CONCRETE THRUST RESTRAINTS HORIZONTAL REACTION - THRUST AT ALL TEES, PLUGGED ENDS, HYDRANTS, AND BENDS BETWEEN 11 1/4 DEGREES AND 90 DEGREES SHALL CONFORM TO EXHIBIT NO WAILD SPECIFICATION. VERTICAL REACTION - THE ENGINEER SHALL SUBMIT INDIVIDUAL DESIGNS FOR EACH LOCATION AND
- WHERE UNDISTURBED EARTH IS NOT AVAILABLE OR NOT LIKELY TO BE AVAILABLE TO BACK UP PRESSURE TYPE CONCRETE THRUST BLOCKS. THE ENGINEER SHALL SPECIFY TIE ROD WITH OR WITHOUT ANCHOR TYPE CONCERT THRUST BLOCKS AND SUBMIT DESIGN DATA FOR SUCH SPECIFICATION. CARE SHALL BE TAKEN WHEN POURING CONCRETE SO THAT THE MIX WILL NOT INTERFERE WITH ACCESS TO JOHNTS OR WEDGE TYPE THRUST RESTRAINTS SHALL BE USED AT ALL HYDRANTS, PLUGS, CAPS, TEES, ELBOWS, AND

FITTINGS. FORMED CONCRETE THRUST RESTRAINTS SHALL BE ALLOWED TO BE USED ONLY WITH THE

APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION. THE USE OF WOOD BLOCKING.

MAY BE REQUIRED IN ADDITION TO THE WEDGE ACTION RETAINER GLANDS AT FITTINGS UPON THE

CONCRETE BLOCKS, STAKES OR CLAMPS WILL NOT BE ALLOWED. FORMED CONCRETE THRUST RESTRAINTS

DIRECTION OF THE DEPARTMENT OF PUBLIC WORKS WATER DIVISION.

MATERIAL - PRECAST OR POURED CLASS SI CONCRETE.

COMPLY WITH AWWA C600, SECTION 3.8.

- STEEL PIPE ASTM A120, 0.375" MINIMUM THICKNESS. 10. VALVES TWELVE (12) INCHES AND SMALLER-EPOXY COATED RESILIENT WEDGE VALVES WITH
- NON-RISING STEM GATE VALVES, COUNTER-CLOCKWISE TO OPEN, AWWA #C-509, CLOW MUELLER OR PRECAST REINFORCED CONCRETE - ASTM C478 AND ASTM C443. SIZE: FOR 6", 8", AND 10" DIAMETER VALVES, VALVE VAULTS SHALL HAVE A 48" INSIDE DIAMETER; FOR PRESSURE CONNECTIONS AND VALVES 12" AND LARGER IN DIAMETER, VALVE VAULTS SHALL HAVE A
- 60° INCH DIAMETER. ADJUSTMENTS: NO MORE THAN TWO (2) PRECAST CONCRETE ADJUSTING RINGS WITH SIX (6) INCH MAXIMUM HEIGHT ADJUSTMENT SHALL BE ALLOWED.

MANHOLE FRAME AND COVER - NEENAH R-1077, TY A EMBOSSED WATER AND VILLAGE OF DOWNERS

MANHOLE STEPS, EAST JORDAN IRON WORKS, INC. #8518.406.

11\ REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11.

- NO REVISIONS THIS SHEET.
- /2\ REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER DATED 2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04.
 - 1. NO REVISIONS TO THIS SHEET.

DOWNERS GROVE DATED MARCH 9, 2004

1. NO REVISIONS THIS SHEET. 4 REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4,

3 REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF

1. REVISED DOWNERS GROVE SANITARY DISTRICT NOTES.

- CRUSHED GRAVEL OR CRUSHED STONE COURSE AGGREGATE -A ASTM C33, SIZE NO. 67.
- NEW WELDED STEEL PIPE WITH A MINIMUM YIELD STRENGTH OF 35,000 PSI AND SHALL MEET THE MINIMUM

Page 4 of 20

REQUIREMENTS OF ASTM-139 GRADE B. THE MINIMUM WALL THICKNESS SHALL BE 0.25°.

2. ALL NEWLY LAID PIPE SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF ONE HUNDRED FIFTY (150) POUNDS PER SQUARE INCH. DURATION OF EACH TEST SHALL BE FOR A PERIOD OF NOT LESS THAN TWO (2) HOURS. EACH VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER AND THE SPECIFIED TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE. BEFORE APPLYING THE SPECIFIED TEST PRESSURE, ALL AIR SHALL BE EXPELLED FROM THE PIPE. ALL LEAKS shall be repaired until tight. Any cracked or defective pipes, fittings, valves, or hydrants DISCOVERED IN CONSEQUENCE OF THIS PRESSURE TEST SHALL BE REMOVED AND REPLACED AND THE

1. AS PART OF THE CONSTRUCTION, THE WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE

- 3. ALL TESTING SHALL BE DONE BEFORE THE INSTALLATION OF SERVICE LINES. SUITABLE MEANS SHALL BE PROVIDED FRO DETERMINING THE QUANTITY OF WATER LOST BY LEAKAGE UNDER THE SPECIFIED TEST PRESSURE. ALLOWABLE LEAKAGE SHALL NOT BE GREATER THAN THE FOLLOWING:
- 10" 0.92 GAL/HR/1000'
- 8" 0.74 GAL/HR/1000" 6" 0.55 GAL/HR/1000'
- LEAKAGE IS DEFINED AS THE QUALITY OF WATER REQUIRED TO BE SUPPLIED TO THE NEWLY LAID PIPE NECESSARY TO MAINTAIN THE SPECIFIED LEAKAGE TEST PRESSURE.

PRELIMINARY FLUSHING PRIOR TO CHLORINATION, THE MAIN SHALL BE FLUSHED AS THOROUGHLY AS POSSIBLE WITH THE WATER

WATER LEFT IN THE LINE AFTER CHLORINATION.

TEST REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

- PRESSURE AND OUTLETS AVAILABLE. FLUSHING SHALL BE DONE AFTER THE PRESSURE TEST IS MADE. BECAUSE SUCH FLUSHING REMOVES ONLY THE LIGHTER SOLIDS, IT CANNOT BE RELIED UPON TO REMOVE HEAVY MATERIAL ALLOWED TO GET INTO THE MAIN DURING LAYING. IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, A TAP SHOULD BE PROVIDED LARED AND PRAGE ENOUGH TO AFFECT A VELOCITY IN THE MAIN OF AT LEAST TWO AND ON—HALF (2 ½) FEET PER SECOND.
- THE PREFERRED POINT OF APPLICATION OF THE CHLORINATING AGENT SHALL BE AT THE BEGINNING OF THE PIPELINE EXTENSION OR ANY VALVED SECTION OF IT AND THROUGH A CORPORATION STOP IN THE TOP OF THE NEWLY LAID PIPE. THE INJECTOR FOR DELIVERING THE CHLORINE-GAS INTO THE PIPE SHOULD BE SUPPLIED FROM A TAP ON THE PRESSURE SIDE OF THE GATE VALVE CONTROLLING THE FLOW
- 2. WATER FROM THE EXISTING DISTRIBUTION SYSTEM OR OTHER SOURCE OF SUPPLY SHALL BE CONTROLLED SO AS TO FLOW SLOWLY INTO THE NEWLY LAID PIPELINE DURING THE APPLICATION OF CHLORINE-GAS. THE RATE OF CHLORINE MIXTURE FLOW SHALL BE IN SUCH PROPORTION TO THE RATE OF WATER ENTERING THE PIPE THAT THE CHLORINE DOSE APPLIED TO THE WATER ENTERING THE NEWLY LAID PIPE SHALL BE AT LEAST FIFTY (50) PPM, OR ENOUGH TO MEET THE REQUIREMENTS DURING THE RETENTION PERIOD. THIS MAY REQUIRE AS MUCH AS ONE HUNDRED (100) PPM OF CHLORINE IN THE
- 3. VALVES SHALL BE MANIPULATED SO THAT THE STRONG CHLORINE SOLUTION IN THE LINE BEING TREATED SHALL NOT FLOW BACK INTO THE LINE SUPPLYING THE WATER.
- 4. TREATED WATER SHALL BE RETAINED IN THE PIPE LONG ENOUGH TO DESTROY ALL SPORE-FORMING BACTERIA. THIS RETENTION PERIOD SHALL BE AT LEAST TWENTY-FOUR (24) HOURS. AFTER THE CHLORINE—TREATED WATER HAS BEEN RETAINED FOR THE REQUIRED TIME, THE CHLORINE RESIDUAL AT THE PIPE EXTREMITIES AND AT OTHER REPRESENTATIVE POINTS SHOULD BE AT LEAST 25 PPM.

5. IN THE PROCESS OF CHLORINATING NEWLY LAID PIPE, ALL VALVES OR OTHER APPURTENANCES

"STANDARDS FOR DISINFECTING WATER MAINS," AWWA C601, AND AS REQUIRED BY THIS SECTION. ALL

DISINFECTION, AS REQUIRED BY THIS SECTION, SHALL BE PERFORMED BY AN INDEPENDENT FIRM

EXHIBITING EXPERIENCE IN THE METHODS AND TECHNIQUES OF THIS OPERATION, AND SHALL BE

- SHALL BE OPERATED WHILE THE PIPELINE IS FILLED WITH THE CHLORINATING AGENT. 6. ALL WATER MAINS SHALL BE DISINFECTED AND TESTED ACCORDING TO REQUIREMENTS OF THE
- APPROVED BY THE VILLAGE ENGINEER. 1. FOLLOWING CHLORINATION, ALL TREATED WATER SHALL BE THOROUGHLY FLUSHED FROM THE NEWLY LAID PIPELINE AT ITS EXTREMITIES UNTIL THE REPLACEMENT WATER, THROUGHOUT ITS LENGTH SHALL, UPON TEST, BE APPROVED AS SAFE WATER BY THE VILLAGE ENGINEER. THIS QUALITY OF WATER DELIVERED BY THE NEW MAIN SHOULD CONTINUE FOR A PERIOD OF AT LEAST TWO (2) FULL DAYS AS DEMONSTRATED BY LABORATORY EXAMINATION OF SAMPLES TAKEN FROM A TAP LOCATED AND INSTALLED

IN SUCH A WAY AS TO PREVENT OUTSIDE CONTAMINATION. SAMPLES SHOULD NEVER BE TAKEN FROM

AN UNSTERILIZED HOSE OR FROM A FIRE HYDRANT BECAUSE SUCH SAMPLES SELDOM MEET CURRENT

BACTERIOLOGICAL STANDARDS. 2. AFTER DISINFECTING AND FLUSHING, A MINIMUM OF TWO (2) WATER SAMPLES SHALL BE COLLECTED. BY THE CONTRACTOR ON TWO SUCCESSIVE DAYS, WITH NOTICE GIVEN, SO THAT THE COLLECTION MAY BE WITNESSED BY THE VILLAGE ENGINEER. BACTERIOLOGICAL SAMPLING AND ANALYSIS OF THE SAMPLES shall be performed by a laboratory approved by the illinois department of public health AND THE VILLAGE ENGINEER. SHOULD THE INITIAL TREATMENT RESULT IN AN UNSATISFACTORY BACTERIAL TEST, THE PROCEDURE SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED. THE CONTRACTOR OR DEVELOPER SHALL PAY FOR THE SAMPLING AND ANALYSIS. RESULTS OF THE ANALYSIS SHALL BE TRANSMITTED BY THE LABORATORY DIRECTLY TO THE VILLAGE ENGINEER. TEST RESULTS SHALL INDICATE THE DATE THE SAMPLE WAS COLLECTED. THE DATE THE ANALYSIS WAS MADE. THE EXACT LOCATION AT WHICH SAMPLES WERE TAKEN, THE FIRM SUBMITTING THE SAMPLE, AND THE

PROJECT AT WHICH THE SAMPLES WERE COLLECTED. SUFFICIENT SAMPLES SHALL BE COLLECTED IN

STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS ADOPTED JANUARY 1, 2002

ORDER TO INSURE THAT THE SYSTEM IS BACTERIOLOGICALLY SAFE. STANDARD SPECIFICATIONS THE STANDARD SPECIFICATIONS WHICH APPLY TO THE CONSTRUCTION WORK AS SHOWN ON THE

ENGINEERING PLANS, ARE CONTAINED IN THE FOLLOWING DOCUMENTS:

- BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AND ALL SUBSEQUENT REVISIONS. 2. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS FIFTH EDITION,
- 3. STANDARD SPECIFICATIONS AS CURRENTLY IN EFFECT BY THE CITY/ VILLAGE, AND ALL SUBSEQUENT REVISIONS. 4. PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS,

AS ADOPTED MAY, 1996 BY THE ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL., AND ALL

IN THE EVENT OF A CONFLICT BETWEEN STATEMENTS WHICH APPLY TO THE CONSTRUCTION WORK, THE STATEMENT CONTAINED WITHIN THE DOCUMENT FIRST ENUMERATED BELOW SHALL GOVERN:

LATEST EDITION AND ALL SUBSEQUENT REVISIONS.

. SPECIAL PROVISIONS

NOTES AND DETAILS ON THE ENGINEERING PLAN

4. STANDARD SPECIFICATIONS, AS DEFINED IN PARAGRAPH 1 ABOVE.

6 REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9,

1. NO REVISIONS TO THIS SHEET.

GREEN ACRES

DOWNERS GROVE, ILLINOIS **GENERAL NOTES**

C.M. Lavoie

65TH STREET AND FAIRVIEW AVENUE

Consulting Civil Engineerin Land Planning & Surveying # DATE Downers Grove, Illinois 60515

633 Rogers Street 1 02-11-04 PER CLIENT 2 03-19-04 PER VILLAGE REVIEW voice 630-434-2780 3 03-11-04 PER VILLAGE REVIEW fax 630-434-2781 4 05-17-04 PER D.G. SAN. DIST. & CBBEL 05–20–04 PER D.G. SANITARY DISTRICT 6 06-12-04 PER CBBEL

DRAWN BY: JRE

SCALE: N.T.S.

JOB NUMBER:

03-164

CHECKED BY: MDC

SHEET: 2 OF 16

DESCRIPTION

DATE: 03-19-04

M:\03-164\thug\Final Drawingstonsite\02-General Notes.dwg, 6/14/2004 12:56:07 PM, HP DesignUet 1065CM (mail) by HP.pc

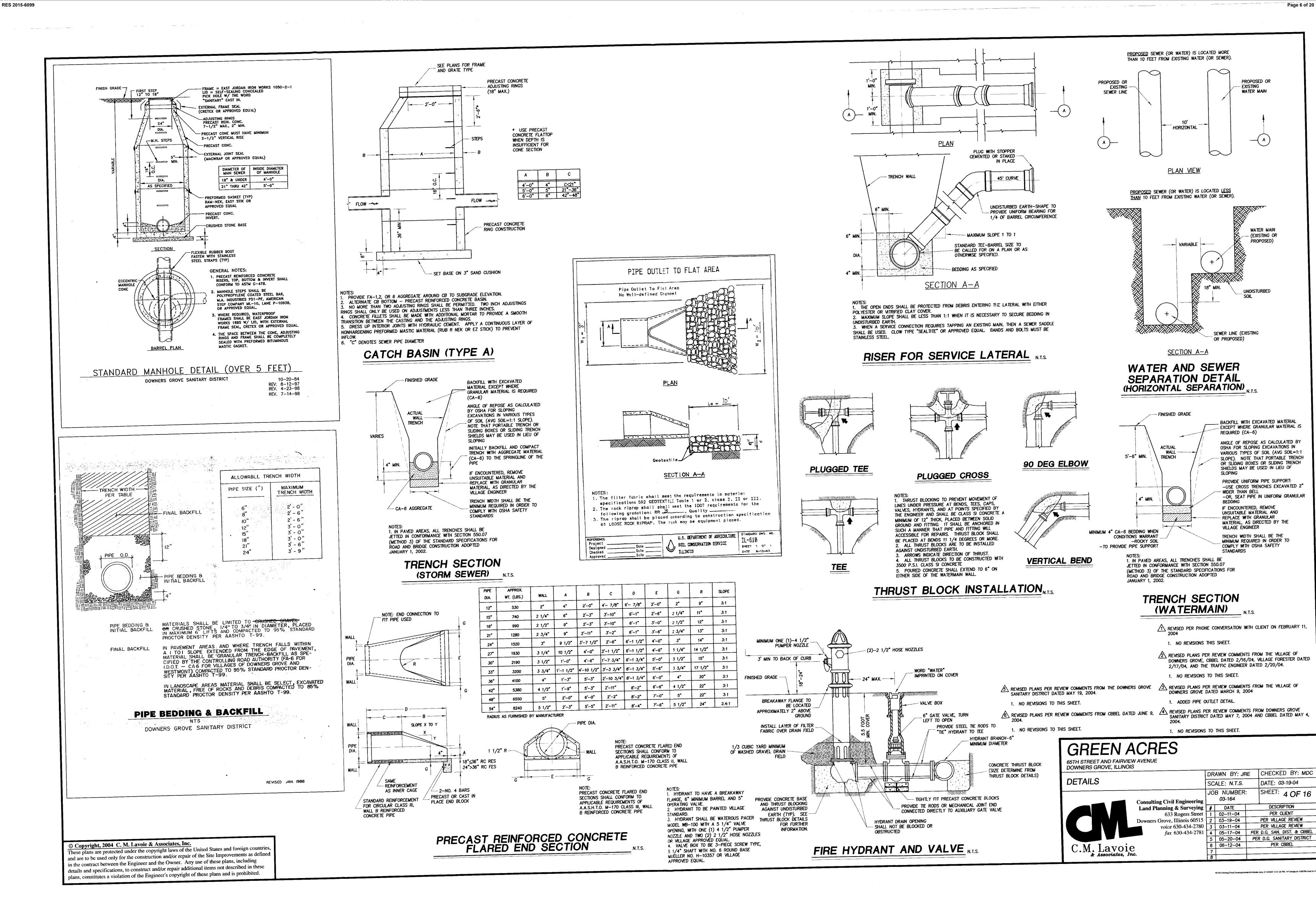
RES 2015-6099 Page 5 of 20 EXISTING CURB AND GUTTER CONTINUOUS LENGTH FOR FRAME AND GRATE TYPES, SYNTHETIC FILTER FABRIC, - SEE CALLOUTS ON STAPLED OR WIRED TO 2- 2" X 2" STAKES PER BALE VARIES ENGINEERING PLANS THE MESH AND/OR POSTS, AT DRIVEN MIN 18" INTO GROUND 1 1/8" X 1 1/8" OAK STAKE @ JOINTS, THE FABRIC MUST 3/4" TOOLED JOINT, 5 TWO FULL WRAPS OF 1" BUTYL BE OVERLAPPED 6" MIN & -7'-8" O.C. ALONG THE ENTIRE O-C, 1" IN DEPTH MASTIC ROPE BE SECURELY SEALED TO 12" MAXIMUM PRECAST CONCRETE PLACE EXPANSION JOINT ADJUSTING RINGS (2 MAX) AT INTERSECTING - SIDEWALK OR 10 FT FROM RAMP TEXTURING TO BE DONE WITH AN 10/10-6X6 WWM X 2'8" ALL BALE CORNERS BACK OF CURB AND EXPANDED METAL GRATE PLACED AND \triangleleft ABUTTING BACK OF CURB WIDE, ATTACH TO POST REMOVED FROM WET CONCRETE TO LEAVE SHALL BE TIGHTLY W/ HEAVY DUTY WIRE PROPOSED SAWCUT BUTTED TOGETHER A DIAMOND PATTERN AS SHOWN. THE 3/4" TOOLED JOINT, 5' STAPLES @ 6" O.C. EDGE OF BUTT JOIN LONG AXIS OF THE DIAMOND PATTERN O-C, 1" IN DEPTH SHALL BE PERPENDICULAR TO THE CURB. TYPE "B" HANDICAP RAMP ECCENTRIC CONE REMOVE BALES UPON GROVES SHALL BE 1/8" DEEP AND 1/4" PER IDOT STANDARD OR FLATTOP COMPLETION OF PAVEMENT WIDE. PATTERN SHALL EXTEND THE FULL 424001-02 WIDTH OF THE RAMP AND SHALL BE 5' MINIMUM IN LENGTH AS MEASURED FROM PROPOSED SURFACE THE BACK OF CURB. -1/4" PER FOOT SLOPE -STRAW BALE (TYP) PROPOSED CURB DETECTABLE - STEPS AND GUTTER UPON COMPLETION, FILL TRENCH W/ COMPACTED_ SOIL OVER THE FILTER **VARIES** -CATCH BASIN GRATE EXISTING SURFACE EXISTING BINDER -48"ø OR 60"ø-3" COMPACTED CA-6 EXISTING BASE -PLACE EXPANSION JOINT SUBBASE (5" AT DRIVE POST SECURELY EXISTING SUBBASE AT INTERSECTING - SIDEWALK OR 10 FT FROM FILTER FABRIC DRIVEWAYS) IN GROUND PLACED UNDER GRATE - PROPOSED BINDER BACK OF CURB AND 3" COMPACTED CA-6 ABUTTING BACK OF CURB STRAW BALES - PROPOSED SUBBASE SUBBASE (5" AT -DEPRESSED CURB PROPOSED BASE DRIVEWAYS) SECTION A-A AND GUTTER POURED CONCRETE SECTION B-B THE FILTER FABRIC SHALL BE A PERVIOUS SHEET OF NICOLON 70-06 FABRIC OR APPROVED EQUAL & SHALL BE CERTIFIED TO MEET THE FILLET IN MH BOTTOM SECTION A-A PITCH OUT GUTTER FOLLOWING: AS NECESSARY 1) 75% FILTERING EFFICIENCY 1 2 1 2 2 2) TENSILE STRENGTH OF 30 LB/LIN. INCH TENSILE STRENGTH (20%) - EXISTING SURFACE 1. ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE "STANDARD PROPOSED SURFACE -MAINTAIN APSHALT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ILLINOIS ADOPTED JANUARY 1, 2002 - EXISTING BINDER 3) 0.30 GAL/SQFT MINIMUM FLOW RATE. SURFACE 1/4" ABOVE -PROPOSED BINDER -- EXISTING BASE BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE SPECIFIED HEREIN. GUTTER FLAG. PROPOSED BASE ~ SILT FENCE DETAIL N.T.S. 2. ALL CONCRETE SHALL BE IDOT CLASS SI, 6 BAG MIX, 5-8% ENTRAINED AIR, 2"-4" MAXIMUM _6" MINIMUM CA-11 - EXISTING SUBBASE 6% PITCH PROPOSED BASE STONE FOR BASE SLUMP WITH A BROOMED FINISH. 3. SAWCUT EXISTING CURB PERPENDICULAR TO BACK 6" FOR THE EDGE OF WALK UNLESS CUT NOTES:

1. FOR ABS, ADS, OR PVC PIPE AN APPROVED MANHOLE SLEEVE SHALL BE USED TO SECTION B-B FALLS WITHIN 5 FEET OF EXISTING JOINT. REMOVE TO EXISTING JOINT. FOR FURTHER ASSURE A WATER TIGHT CONNECTION BETWEEN PIPE AND MANHOLE WALL. INFORMATION, REFER TO CURB AND GUTTER DETAIL 2. FOR 18" DIAMETER AND SMALLER PIPE USE 48" DIAMETER MANHOLE. FOR PIPE 4. PLACE TYPE II BARRICADES WITH FLASHING LIGHTS ON ALL SIDES OF EXCAVATIONS. ____ LARGER THAN 18", USE 60" DIAMETER MANHOLE.

3. PRECAST CONCRETE SHALL CONFORM TO ASTM C-478 FOR ALL MANHOLES.

4. FOR FRAME AND GRATE TYPES, SEE CALLOUTS ON ENGINEERING PLANS. MAINTAIN BARRICADES FOR A MINIMUM OF 72 HOURS AFTER POUR. DEPRESSED -1. FOR WIDENING LESS THAN 8" WHERE COMPACTION IS DIFFICULT, CONCRETE BASE SHALL BE USED.
2. FOR THICKNESS OF BITUMINOUS SURFACE, BINDER AND AGGREGATE BASE, SEE TYPICAL SECTION FOR 5. PLACE 3/4" PREMOLDED EXPANSION JOINTS WHERE ABUTTING EXISTING CONCRETE AND ON DOWELS (TYP) BOTH SIDES OF UTILITY STRUCTURE AND EVERY 50' 0-C. 6. MINIMUM TRANSVERSE SLOPE SHALL BE 1/4" PER FOOT (2%) AND THE MAXIMUM SHALL BE ROADWAY PAVEMENT. 4" MINIMUM COMPACTED STORM MANHOLE (TYPE A), N.T.S. AGGREGATE SUBBASE 7. MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 6% (16:1)
8. SIDEWALK SHALL BE 5 INCH THICK P.C. CONCRETE AS SPECIFIED ABOVE. AT COMMERCIAL BUTT JOINT DETAIL B6.12 CURB & GUTTER DRIVEWAY CROSSINGS, THE THICKNESS SHALL BE 8 INCHES.

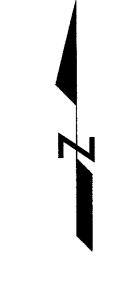
9. ALL SIDEWALKS SHALL BE PROMPTLY BACKFILLED AND PROTECTED FROM DAMAGE. PCC SIDEWALK DETAIL 1'0" OR AS DIRECTED BY ENGINEER OR PUBLIC WORKS - FINISHED GROUND 4" MINIMUM COMPACTED PITCH OUT GUTTER AGGREGATE SUBBASE AS NECESSARY -HOUSE FND WALL 6" BARRIER CURB -THREADED GATE VALVES MAINTAIN APSHALT CURB BOX BUFFALO STYLE CORPORATION STOP SHALL BE SURFACE 1/4" ABOVE -FORD FB600 WITH GUTTER FLAG. LAO 4-44 SWIVEL -CURB STOP - FORD B44-444 6% PITCH 45 DEG ANGLES 1 1/2" TY K COPPER TUBING-PITCH OUT GUTTER AS NECESSARY ackslash METER SPAN -FLARED JOINT MAINTAIN APSHALT 10 7/8" 6 1/4" SURFACE 1/4" ABOVE COPPER TUBING GUTTER FLAG. -SUPPORT BLOCK DOWELS (TYP)--PLACED ON VIRGIN GROUND NOTE: TEN FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SEWER MUST BE MAINTAINED UP TO AND THROUGH 4" MINIMUM COMPACTED **₩ATERMAIN** AGGREGATE SUBBASE B9.12 CURB & GUTTER HOUSE FOUNDATION PL TO HOUSE WATERMAIN TO PL WATER SERVICE 4" MINIMUM COMPACTED PITCH OUT GUTTER AGGREGATE SUBBASE AS NECESSARY 1' TRANSITION FROM M3.12 CURB & GUTTER BARRIER CURB TO MAINTAIN APSHALT DEPRESSED CURB SURFACE 1/4" ABOVE -GUTTER FLAG. PITCH OUT GUTTER AS NECESSARY MAINTAIN APSHALT FOR SIDEWALK 1/4" PER FT SPECS SEE DETAIL SURFACE 1/4" ABOVE GUTTER FLAG. DOWELS (TYP) SIDEWALK TO BE TYPE M 3.12 CURB AND GUTTER 4" MINIMUM COMPACTED _ 8" THICK WITH AGGREGATE SUBBASE 1/2 D REINFORCING DEPRESSED CURB & GUTTER MESH THROUGH DRIVEWAY, IF ADJACENT TO HANDICAP ACCESS EXISTING SIDEWALK IS NON COMPLYING,
REMOVE TO NEXT
JOINT PAST
DRIVE AND 4" MINIMUM COMPACTED AGGREGATE SUBBASE 1. 1 1/2" BITUMINOUS SURFACE COURSE, CLASS I, MIX C, TY-3 (95%) ELEVATION CONVERSIONS
TOP OF CURB = CENTERLINE - 0.09 FEET
FLOW LINE = CENTERLINE - 0.34 FEET -3/4" TOOLED JOINTS 2. PRIME COAT (0.10 GAL/SY - RC70) DEPRESSED CURB & GUTTER -IN PEA 3. 2" BITUMINOUS BINDER COURSE, CLASS I, MIX B, TY-2 (95%) EDGE OF PAVEMENT = CENTERLINE - 0.28 RIGHT OF WAY = CENTERLINE + 0.30 FEET -3/4" PREMOLD JOINT 4. PRIME COAT (0.30 GAL/SY - RC70) FILLER ABUTTING 5. 10" AGGREGATE BASE COURSE, TY B, CA-6 (95%) ALL CONCRETE 6. GEOTECHNICAL FABRIC FOR SOIL STABILIZATION, IF NECESSARY 7. APPROVED SUBGRADE (PROOFROLLED AND INSPECTED BY VILLAGE ENGINEER) NOTES: DIAMETER RCP <u>STRUCTURAL NUMBER</u> 1.5" * 0.40 = 0.60 1. 3/4" PREFORMED BITUMINOUS EXPANSION JOINT MATERIAL WITH TWO (2) NUMBER 6 COATED SMOOTH SAW CUT CURB AND GUTTER WHEN 8. 4" MINIMUM TOPSOIL DOWEL BARS (3/4" DIAMETER X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150', 10' EITHER SIDE REMOVING. IF CUT FALLS WITHIN 4' OF 2.0" * 0.40 = 0.80 9. B6.12 CURB AND GUTTER STAINLESS OF DRAINAGE STRUCTURES, P.C.'S, RADIUS POINTS AND BACK OF CUL-DE-SACS. WHEN EXPANSION 10. 4" MINIMUM BASE COURSE (CA-6) COMPACTED TO 95% MOD PROCTOR EXISTING JOINT REMOVE TO JOINT. $\frac{10.0" * 0.11 = 1.10}{\text{TOTAL}} = 2.50$ 20" STD STEEL STEEL JOINTS ARE CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER, THE EXISTING CURB SHALL BE PIPE SLEEVE 11. 5 FOOT WIDE PCC SIDEWALK - LOCATED ONE (1) FOOT INSIDE R.O.W. STRAPPING DRILLED AND TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (3/4" DIAMETER X 18") GROUTED IN PROPOSED B6.12 (0.375 THICK) 12. PUBLIC WATERMAIN -- MINIMUM 5.5' DEEP PLACE. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER AND SHALL MAX SLOPE 1/2" PER FT MIN SLOPE 1/4" PER FT CURB AND GUTTER 13. PUBLIC STORM SEWER 14. PUBLIC SANITARY SEWER HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION. MAX 10% SLOPE TYPICAL PAVEMENT SECTION 2. TOOLED CONTROL JOINTS OR SAWCUTS SHALL BE MADE EVERY 15'. SMITH-BLAIR STAINLESS STEEL STAINLESS STEEL 3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS AND SEALED WITH A CITY APPROVED JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT. CASING SPACER CASING SPACER 4. ALL CONCRETE SHALL BE CLASS SI, 6 BAG MIX, 5-8% AIR ENTRAINMENT, 2"- 4" MAXIMUM SLUMP, LIGHT BROOM FINISH WITH TWO COATS OF APPROVED CURING SOLUTION. **GREEN ACRES** ~6" X 6" REINFORCING MESH _8" MIN GRAVEL BASE WHEN 3" BITUMINOUS USED 1. EACH CASING SHALL BE FULLY WELDED TO THE ADJACENT SECTION TO PRODUCE A DRIVEWAY -6" X 6" REINFORCING MESH WHEN CONCRETE USED CONTINUOUS ENCASEMENT FOR THE PROPOSED SANITARY SEWER. 5. 3/4" PREMOLDED JOINTS SHALL BE PLACED AT ALL ABUTTING CONCRETE. 65TH STREET AND FAIRVIEW AVENUE FOR ROADWAY SECTION SEE DETAIL THIS SHEET 2. THE WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE BID PER LINEAL DOWNERS GROVE, ILLINOIS POINT OF SAWCUT FACE OF TANGENCY CHECKED BY: MDC 6. 'D' DENOTES PAVEMENT THICKNESS (FULL DEPTH). DRAWN BY: JRE FOOT FOR 12" RCP IN STEEL CASING PIPE. EXISTING CURB AND **DETAILS** EXISTING CURB GUTTER TO PROVIDE 3. USE MECHANICAL JOINT PIPE AT ALL AUGERS. PROVIDE BULKHEAD (CONCRETE SCALE: N.T.S. DATE: 03-19-04 AND GUTTER DEPRESSION DRIVEWAY ENTRANCE BLOCKING) AT END OF SLEEVE. SHEET: 3 OF 16 CURB AND GUTTER DETAIL N.T.S. JOB NUMBER: AUGERING DETAIL N.T.S. Consulting Civil Engineering DESCRIPTION Land Planning & Surveying PER CLIENT 633 Rogers Street REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11, 2004 REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE DATED MARCH 9, 2004 REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE Downers Grove, Illinois 60515 PER VILLAGE REVIEW 03-19-04 0.4R SANITARY DISTRICT DATED MAY 19, 2004. voice 630-434-2780 REMOVE AND REPLACE PER VILLAGE REVIEW 03-11-04 PER D.G. SAN. DIST. & CBBEI EXISTING CURB fax 630-434-2781 4 05-17-04 1. NO REVISIONS THIS SHEET. 1. NO REVISIONS TO THIS SHEET. PER D.G. SANITARY DISTRICT 05-20-04 TYPICAL CURB TRANSITION DETAIL 2 REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE © Copyright, 2004 C. M. Lavoie & Associates, Inc. REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9, 6 06-12-04 C.M. Lavole SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4, DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER These plans are protected under the copyright laws of the United States and foreign countries and are to be used only for the construction and/or repair of the Site Improvements as defined DATED 2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04. in the contract between the Engineer and the Owner. Any use of these plans, including 1. NO REVISIONS TO THIS SHEET. . RELOCATED AUGERING DETAIL TO THIS SHEET FROM SHEET 7. 1. NO REVISIONS TO THIS SHEET. details and specifications, to construct and/or repair additional items not described in these 2. REVISED RESTRICTOR DETAIL. M:\03-164\dwg\Final Drawingstonsite\03-Details.dwg, 6/14/2004 12:56:47 PM, HP Design.let 1055CM (mai) by HP (plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

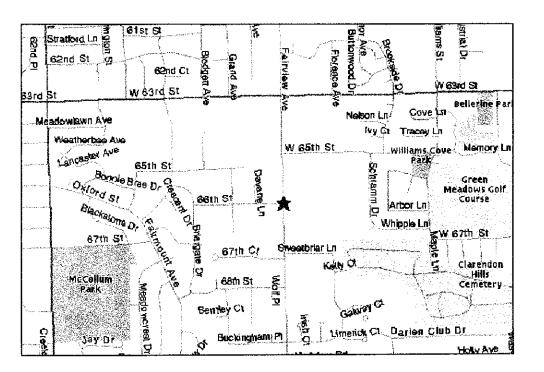


Page 7 of 20

PLAT OF SURVEY

THE SOUTH 145.15 FEET OF THE EAST HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, (EXCEPT FAIRVIEW AVENUE), ALSO THE NORTH HALF OF THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, (EXCEPT FAIRVIEW AVENUE) ALSO KNOWN AS LOT 2 IN REHAK'S ASSESSMENT, ALL IN SECTION 20, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.





SITE LOCATION

NOTES:

1. FIELD SURVEY PERFORMED ON JULY 2, 2003.

- 2. PLAT REPRESENTS A BOUNDARY SURVEY OF A DESCRIPTION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- 3. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- 4. DECLARATION IS MADE ONLY TO THE ORIGINAL PURCHASER OF THE SURVEY.
 17 IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 5. THE PROPERTY SHOWN HEREON IS NOT SUBJECT TO FLOOD RISK (I.E. THE PROPERTY FALLS WITHIN ZONE "C"; AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN) AS PORTRAYED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 170197—0060—B, REVISED DATE: APRIL 15, 1982.
- 6. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON THE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE ANY SITE WORK/EXCAVATIONS ARE BEGUN CONTACT J.U.L.I.E. AT 1-800-892-0123 AND
- ALL NECESSARY ENTITIES.

 7. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO
- OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, CONTACT THE APPROPRIATE AGENCIES.
- 8. THE LOCATION OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE UNKNOWN AND NOT SHOWN.
- 9. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.

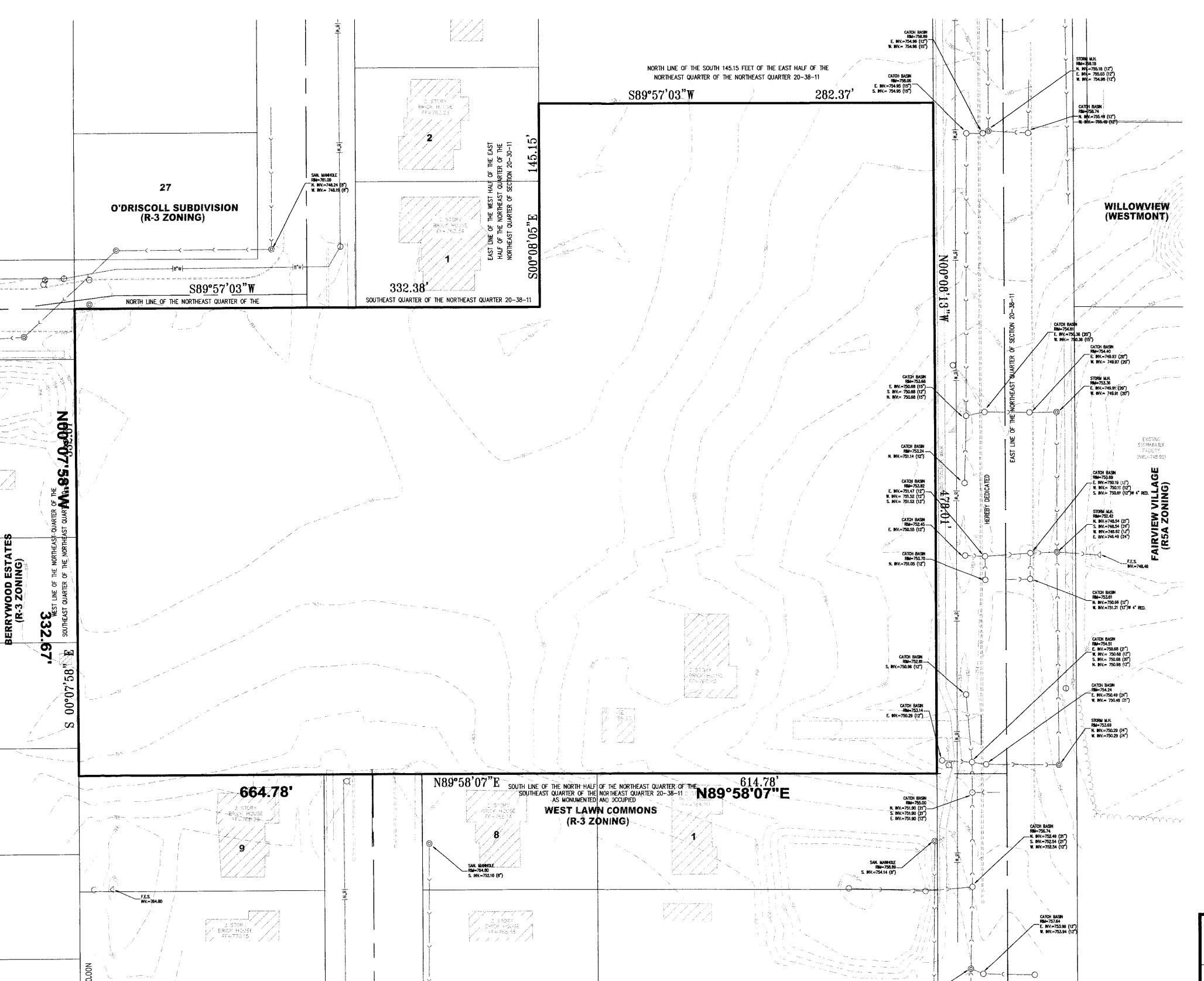
10. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EVIDENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY.

- 11. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THE SURVEYOR. NO ABSTRACT OF TITLE, TITLE COMMITMENT NOR RESULTS OF TITLE SEARCHES WERE FURNISHED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL OF I AND
- 12. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

GRAPHIC SCALE (IN FEET) 1 inch = 40 ft.

© Copyright, 2004 C. M. Lavoie & Associates, Inc.

These plans are protected under the copyright laws of the United States and foreign countries, and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.



REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.

REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9,

1. NO REVISIONS TO THIS SHEET.

1. NO REVISIONS TO THIS SHEET.

REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE DATED MARCH 9, 2004

4 REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE

SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4.

1. NO REVISIONS THIS SHEET.

1. NO REVISIONS TO THIS SHEET.

LEGEND

(0.00)	RECORD IN ORMATION
0.00	MEASURED INFORMATION
	- SECTION LINE
	- CENTERLINE
	- SETBACK LINE
	- EASEMENT LINE
o	EXISTING STORM INLET
700 p	EXISTING UTILITY POLE
©	EXISTING MANHOLE
ď	EXISTING FIRE HYDRANT
Ô	EXISTING CATCH BASIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
· · · · · · · · · · · · · · · · · · ·	EXISTING FENCE
	EXISTING OVERHEAD WIRE
Ф	EXISTING VALVE VAULT
⊗	EXISTING VALVE BOX
	EXISTING SIGN
	EXISTING UNDERGROUND GAS LINE
- I	EXISTING UNDERGROUND TELEPHONE LINE
8*W	EXISTING WATER MAIN
AC. 40.4	EXISTING UTILITY BOX
632	EXISTING CONTOUR
	EXISTING TREE
east	

RECORD INFORMATION

BENCHMARK

DUPAGE COUNTY BENCHMARK NUMBER DGN28003 IS A BRONZE DISK MONUMENT ESTABLISHED IN THE CONCRETE BASE OF THE TRAFFIC CONTROL LIGHT STAMPED 'DUPAGE COUNTY MAPS AND PLATS' AT THE CORNER OF FAIRVIEW AVENUE AND 75TH STREET. VERTICAL DATUM: NAVD 29 ELEVATION=779.99 (USGS)

CONVERSION: SUBTRACT 1.3' FROM USGS BENCHMARK TO OBTAIN VILLAGE OF DOWNERS GROVE DATUM.

STATE OF ILLINOIS)

COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, ROBERT W. STASIK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35—2322, HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.

GIVEN UNDER MY HAND AND SEAL AT DOWNERS GROVE, ILLINOIS, THIS 28TH DAY OF DECEMBER 2, A.D., 2003.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2322 LICENSE RENEWAL/DATE OF EXPIRATION: 11-30-04

GREEN ACRES 65TH STREET AND FAIRVIEW AVENUE DOWNERS GROVE, ILLINOIS

PLAT OF SURVEY

REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11,

2 REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF

2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04.

DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER DATED

1. NO REVISIONS THIS SHEET.

1. NO REVISIONS TO THIS SHEET.

Consulting Civil Engineering
Land Planning & Surveying
633 Rogers Street
Downers Grove, Illinois 60515
voice 630-434-2780
fax 630-434-2781

C.M. Lavoie
& Associates, Inc.

DRAWN BY: JRE | CHECKED BY: MDC

PROFESSIONAL LAND SURVEYOR NO. 35-2322

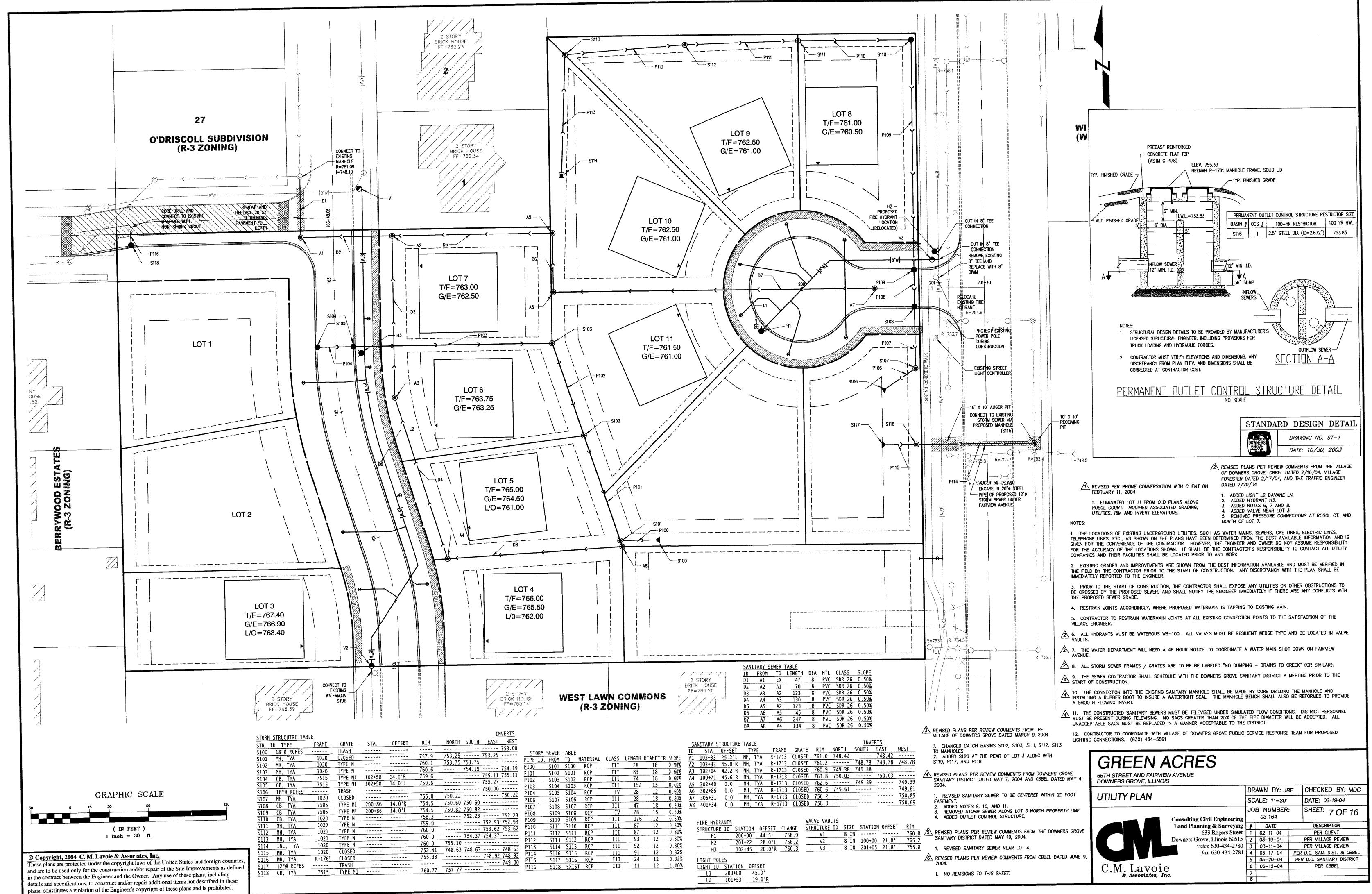
DOWNERS GROVE,

FAIR OAKS SUBDIVISION NORTH LINE OF THE SOUTH 145.15 FEET OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER 20-38-11 S89°57'03"W O'DRISCOLL SUBDIVISION 50' 0' UTILITY EASEMENT 90.00 (R-3 ZONING) LOT 2 LOT SUMMARY <u>LEGEND</u>: **WILLOWVIEW** RECORD INFORMATION 15,926 MEASURED INFORMATION (WESTMONT) **LOT 27** 13,547 SF 13,034 DOC. R76-085872 4 11,724 REMOVE FULL BOUNDARY LINE 17,435 SF 5 11,768 DEPTH AND LOT LINE EXISTING CURB AND _ GUTTER TO REMAIN REPLACE 6 11,170 PPROXIMATELY 415 -- SETBACK LINE PROPOSED 8' 11,623 SY OF EXISTING BITUMINOUS 13,547 --- EASEMENT LINE DAVANE LANE STA 9 | 17,434 PROPOSED SIDEWALK RIGHT OF WAY LINE 103+48.05 10 17,259 11 14, 194 · · — SECTION LINE 12 16,514 S89°57'03"W SOUTHEAST QUARTER OF THE NORTHEAST QUARTER 20-38-13 | 13,549 NORTH LINE OF THE NORTHEAST QUARTER OF THE 14 20,368 17,259 SF 131.19' _{15' UTILITY EASEMENT} 65TH STREET ち PROPOSED B6.12 E CURB AND GUTTER LYNN GREMER COURT PROPOSED B6.12 _ CURB AND GUITTER DEVELOPMENT SUMMARY HEREBY DEDICATED STREET 132.38' 10' UTILITY EASEMENT 10' UTILITY/DRAINAGE EASEMENT ROSOL COURT N89*57'26"E S 89°57'26" W 10' UTILITY EASEMENT MINIMUM LOT SIZE = 11,163 SF (0.248 AC) STA 201+40 PROPOSED BITUMINOUS PAVE LENT MAXIMUM LOT SIZE = 20,368 SF (0.468 AC)FAIRVIEW VILLAGE REMOVE 32 LF AVERAGE LOT SIZE = 14,534 SF (0.334 AC) EXISTING CURB AND ---(R5A ZONING) 30' FRONT YARD SETBACK R.O.W. DEDICATION = 42,074 SF (0.966 AC) TOTAL = 245,559 SF (5.64 AC)14,203 SF TOTAL NUMBER OF DWELLING UNITS = 14 LOT 14 15,373 SF DWELLING UNITS PER ACRE EACH BUILDING SHALL BE CONSTRUCTED ON AN INDIVIDUAL CONSERVATION LOT OF RECORD AS SHOWN ON THE FINAL PLAT. - EASEMENT 20' REAR YARD SETBACK 10' UTILITY/DRAINAGE EASEMENT 16,514 SF 13,549 SF SET IRON PIPE (TYPICAL) (SEE NOTE BELOW) TYPICAL LOT **LOT 13** 11,768 SF SETBACK/EASEMENT DIMENSIONS 15,926 SF (SIDEYARD EASEMENTS ARE AS INDICATED ON THE HEREON DRAWN PLAT. IN AREAS WHERE ___ MANAGEMENT < 41.48 EASEMENT THE SIDEYARD EASEMENT IS GREATER THAN 5 FEET THE SIDE YARD SETBACK SHALL COINCIDE WITH THE EASEMENT LINE) 10' EASEMENTS ALONG COMMON REAR LINES SHALL BE N86°54'29"E 10' UTILITY EASEMENT SHARED AT 5' EITHER SIDE OF THE COMMON LINE, EXCEPT WHERE NOTED. 144.89' 10' UTILITY EASEMENT (IRON PIPE WILL BE SET AT ALL LOT CORNERS UPON COMPLETION OF FINAL GRADING) 31A 102+46./9 177.03 70 377.1 Enden - PC STA 102+46.79 LOT 12 20,368 SF 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK. 231.64' REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11, 2. EXISTING GRADES AND IMPROVEMENTS ARE SHOWN FROM THE BEST INFORMATION AVAILABLE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY WITH THE 1. ELIMINATED LOT 11 FROM OLD PLANS ALONG ROSOL COURT. SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER 20-38-11 AS MONUMENTED AND OCCUPIED NO. 14.78 MODIFIED ASSOCIATED GEOMETRY, EASEMENTS, AND SETBACKS. PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. 664.78' 100+00 3. ALL DIMENSIONS ARE TO BACK OF CURB OR LOT CORNER, UNLESS OTHERWISE NOTED. REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF LOT 11 WEST LAWN COMMONS DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER DATED 4. FOR ACCURATE BOUNDARY INFORMATION, SEE FINAL SUBDIVISION PLAT. LOT 9 (R-3 ZONING) 2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04. VANE DOC. 889-58218 5. ALL PROPOSED STRIPING SHALL BE 4 INCH WIDE YELLOW PAINT. REVISED CURB TYPE TO BE B6.12.
 REVISED LOT LINE BETWEEN LOTS 5 AND 4 TO MEET MINIMUM LOT 6. ALL PROPOSED CURB SHOWN HEREON IS B6.12 BARRIER CURB AND GUTTER, UNLESS OTHERWISE NOTED. WIDTH REQUIREMENTS FOR LOT 5. 3. ADDED 65TH STREET IMPROVEMENTS CALL-OUT.
4. REVISED LOT SUMMARY TABLE TO REFLECT LOTS 4 AND 5 AREA 7. DEPRESS ALL CURB & GUTTER WHERE PROPOSED PCC SIDEWALK MEETS PROPOSED BACK OF CURB. 5. REVISED REAR YARD UTILITY EASEMENTS. REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE DATED MARCH 9, 2004 **GREEN ACRES** CHANGED ROSOL COURT TO LYNN G. COURT ADDED CONSERVATION EASEMENT OVER LOTS 1 AND 2 65TH STREET AND FAIRVIEW AVENUE DOWNERS GROVE, ILLINOIS MODIFIED CURB IN CUL DE SAC TO ALL B6.12 C&G CHECKED BY: MDC DRAWN BY: JRE REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4, GEOMETRY PLAN DATE: 03-19-04 SCALE: 1"=40' GRAPHIC SCALE SHEET: 6 OF 16 JOB NUMBER: REVISED EASEMENT INFORMATION. Consulting Civil Engineeria DESCRIPTION Land Planning & Surveying # DATE REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004. PER CLIENT 633 Rogers Street Downers Grove, Illinois 60515 2 03-19-04 (IN FEET) PER VILLAGE REVIEW 1 inch = 40 ft. voice 630-434-2780 3 03-11-04 PER VILLAGE REVIEW 1. NO REVISIONS TO THIS SHEET. fax 630-434-2781 4 05-17-04 PER D.G. SAN. DIST. & CBBEL REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9. 05-20-04 PER D.G. SANITARY DISTRICT © Copyright, 2004 C. M. Lavoie & Associates, Inc. C.M. Lavoie These plans are protected under the copyright laws of the United States and foreign countries NO REVISIONS TO THIS SHEET. and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these M:03-164/zhg/Final Drawings/orsine\06-Geometry Plan.dwg, 6/14/2004 12:58:56 PM, HP DesignJet 105SOM (mai) by HP.p. plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

Page 8 of 20

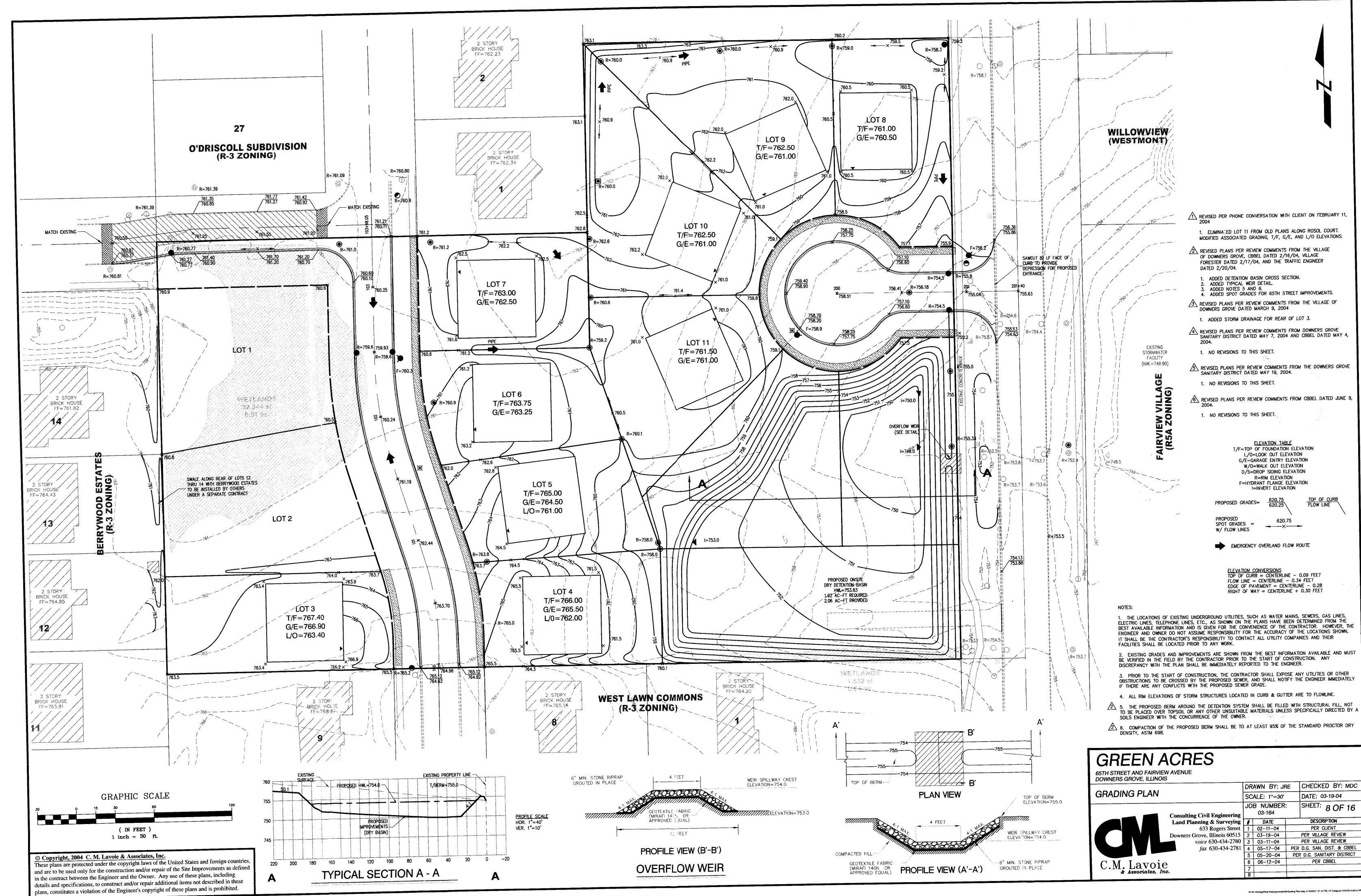
RES 2015-6099

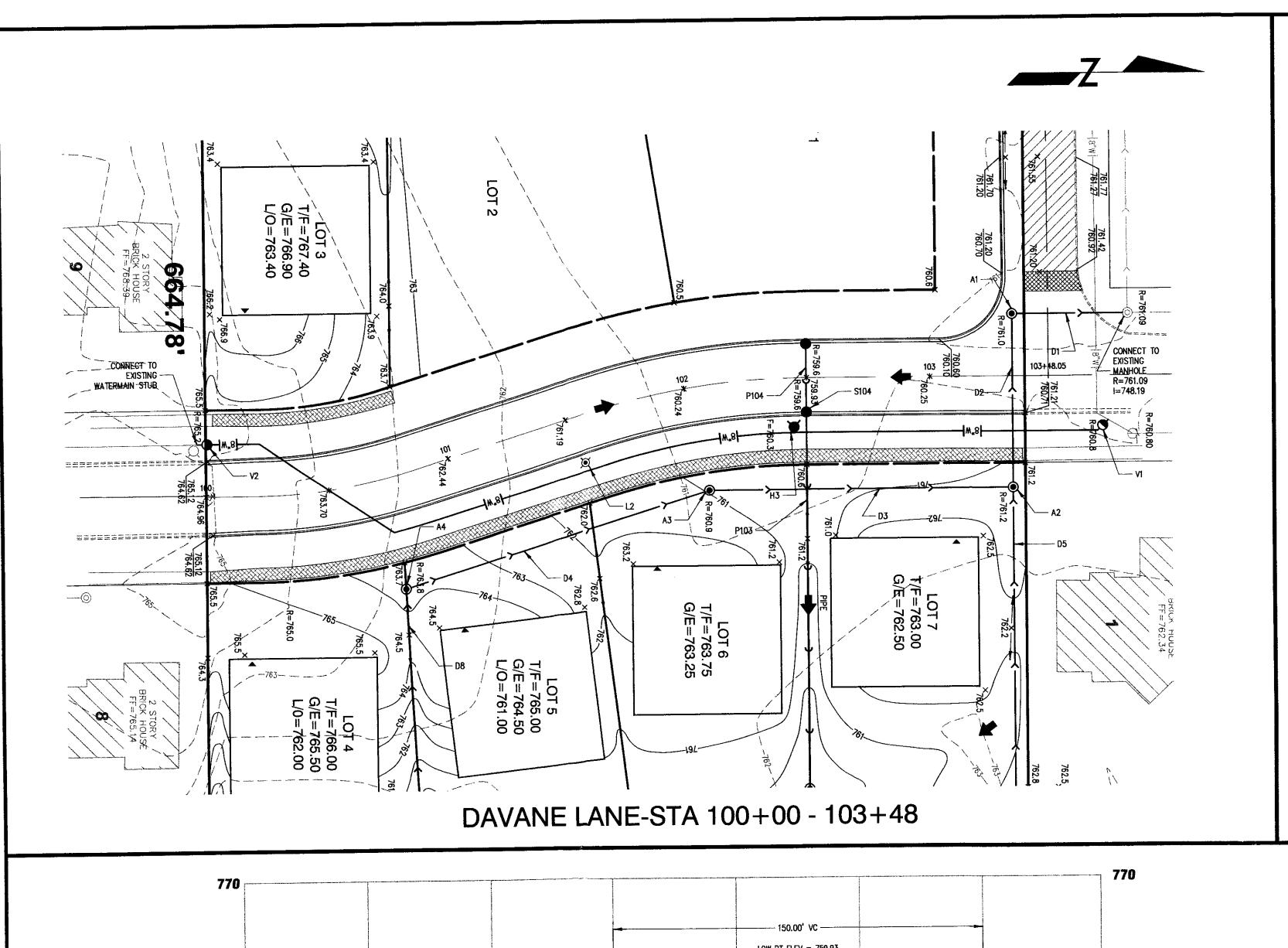
Page 9 of 20

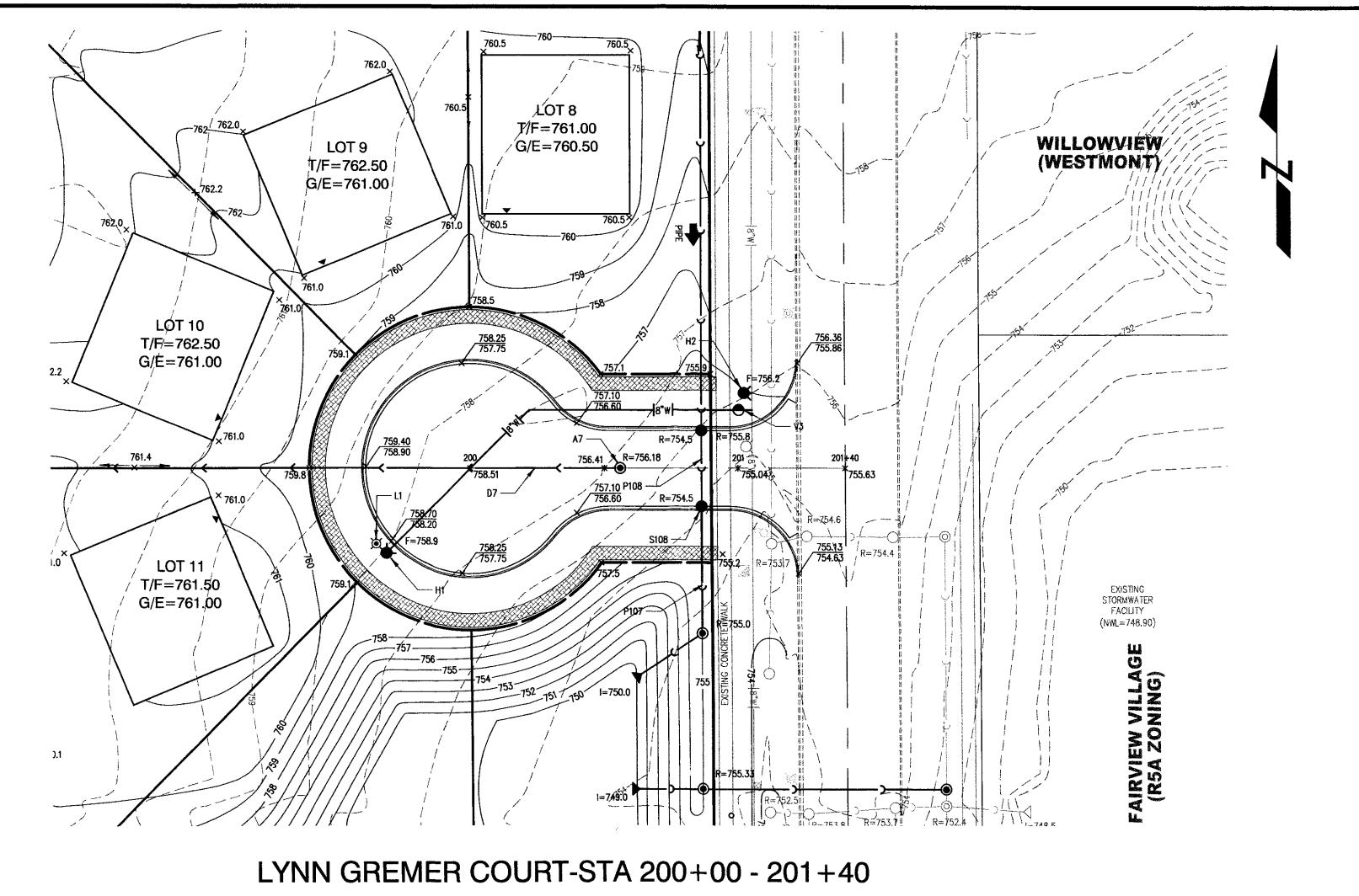


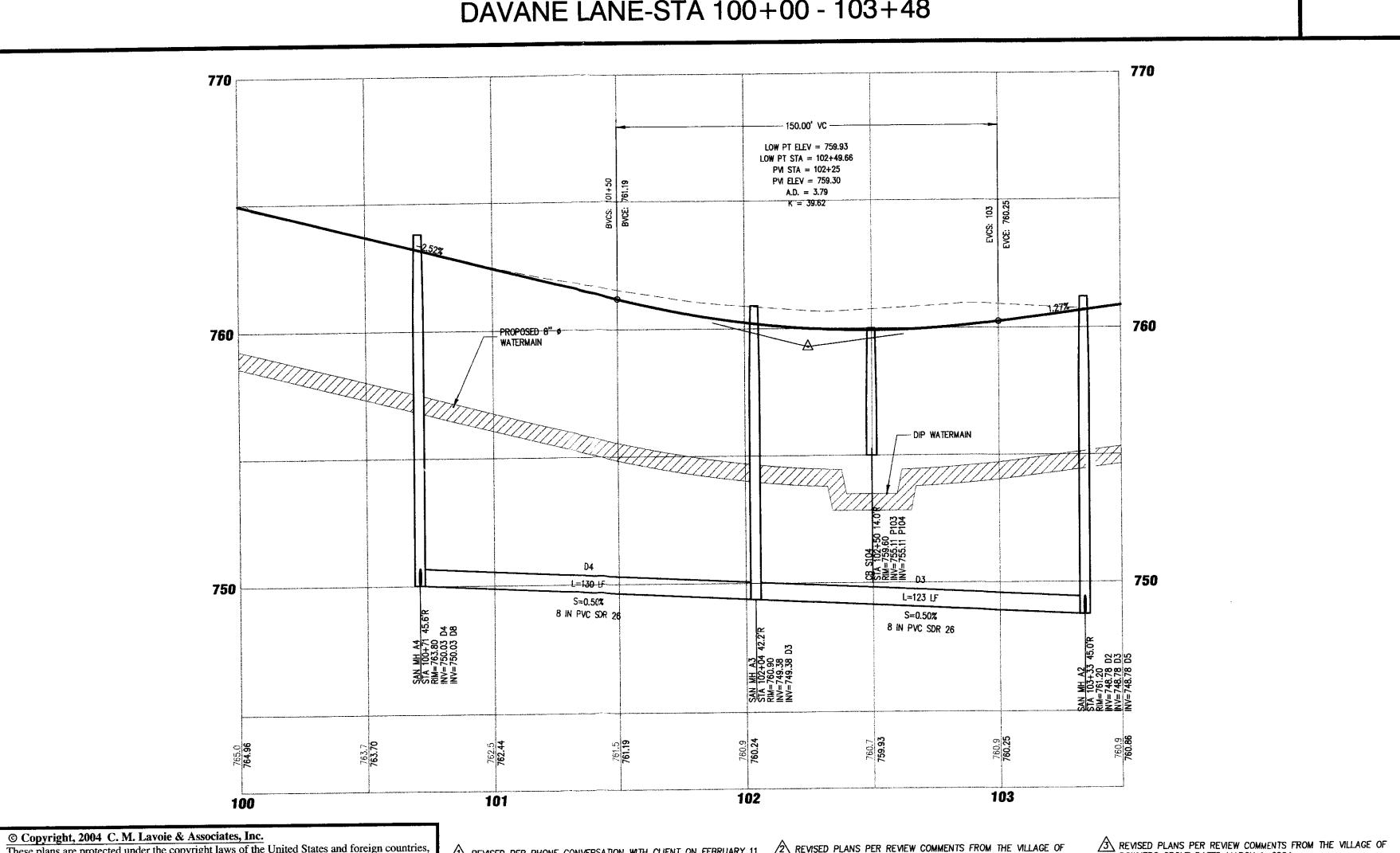
M-03-164/dwgl/Final Drawingsionshie07-Utility Planutwg, 6/14/2004 12:59:55 PM, HP Designalet 1055CM (nel) by HP.px3

RES 2015-6099 Page 10 of 20









1. ELIMINATED LOT 11 FROM OLD PLANS ALONG ROSOL COURT.

MODIFIED ASSOCIATED GRADING, T/F, G/E, AND L/O ELEVATIONS.

These plans are protected under the copyright laws of the United States and foreign countries

in the contract between the Engineer and the Owner. Any use of these plans, including

plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

details and specifications, to construct and/or repair additional items not described in these

and are to be used only for the construction and/or repair of the Site Improvements as defined

REVISED PER PHONE CONVERSATION WITH CLIENT ON FEBRUARY 11, 2004

REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE, CBBEL DATED 2/16/04, VILLAGE FORESTER DATED

2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04.

1. NO REVISIONS TO THIS SHEET.

NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ELECTRIC LINES, TELEPHONE LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN PROFILE SCALE HOR. 1"=30' FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT VER. 1"= 3' SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK. 2. EXISTING GRADES AND IMPROVEMENTS ARE SHOWN FROM THE BEST INFORMATION AVAILABLE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCY WITH THE PLAN SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. 3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRCTOR SHALL EXPOSE ANY UTILITIES OR OTHER OBSTRUCTIONS TO BE CROSSED BY THE PROPOSED SEWER, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS WITH THE PROPOSED SEWER GRADE. GRAPHIC SCALE (IN FEET) 1 inch = 30 ft._PROPOSED 8" # WATERMAIN 6 REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9, 2004. 1. NO REVISIONS TO THIS SHEET. **GREEN ACRES** 65TH STREET AND FAIRVIEW AVENUE DOWNERS GROVE, ILLINOIS CB S108 STA 200+86 RIM=754.50 INV=750.60 F INV=750.60 F DIP WATERMAIN -DRAWN BY: JRE | CHECKED BY: MDC P & P (DAVANE & LYNN GREMER) SCALE: 1"=30' DATE: 03-19-04 SHEET: 9 OF 16 JOB NUMBER: **Consulting Civil Engineering** Land Planning & Surveying # DATE DESCRIPTION 201 633 Rogers Street 1 02-11-04

REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.

REVISED SANITARY SEWER PROFILE.

REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4,

1. REVISED SANITARY SEWER.

DOWNERS GROVE DATED MARCH 9, 2004

1. CHANGED ROSOL COURT TO LYNN G. COURT

05-20-04 PER D.G. SANITARY DISTRICT

fax 630-434-2781 4 05-17-04 PER D.G. SAN. DIST. & CBBEL

06-12-04

PER VILLAGE REVIEW

PER VILLAGE REVIEW

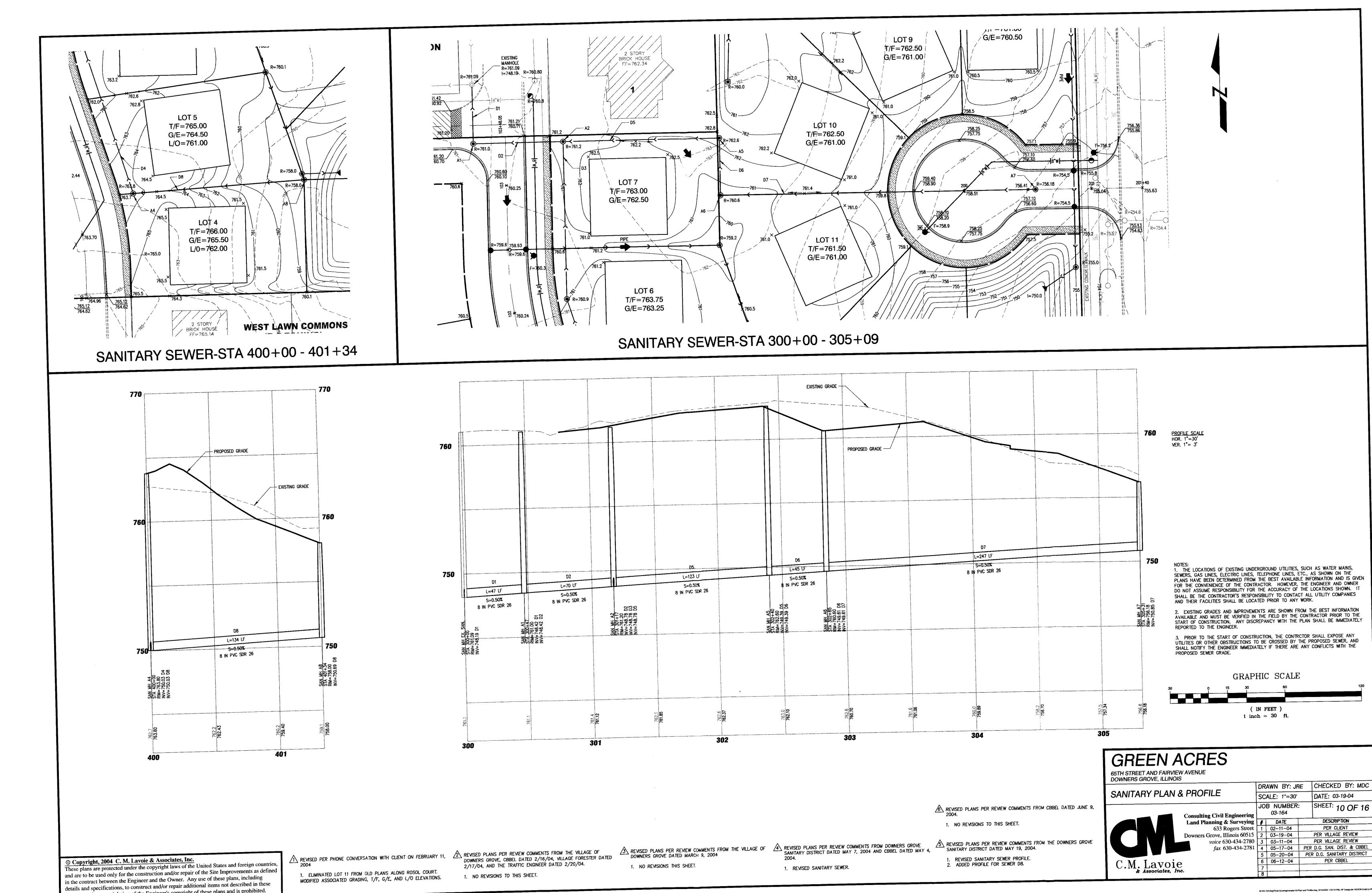
PER CBBEL

Downers Grove, Illinois 60515 2 03-19-04

C.M. Lavoie

voice 630-434-2780 3 03-11-04

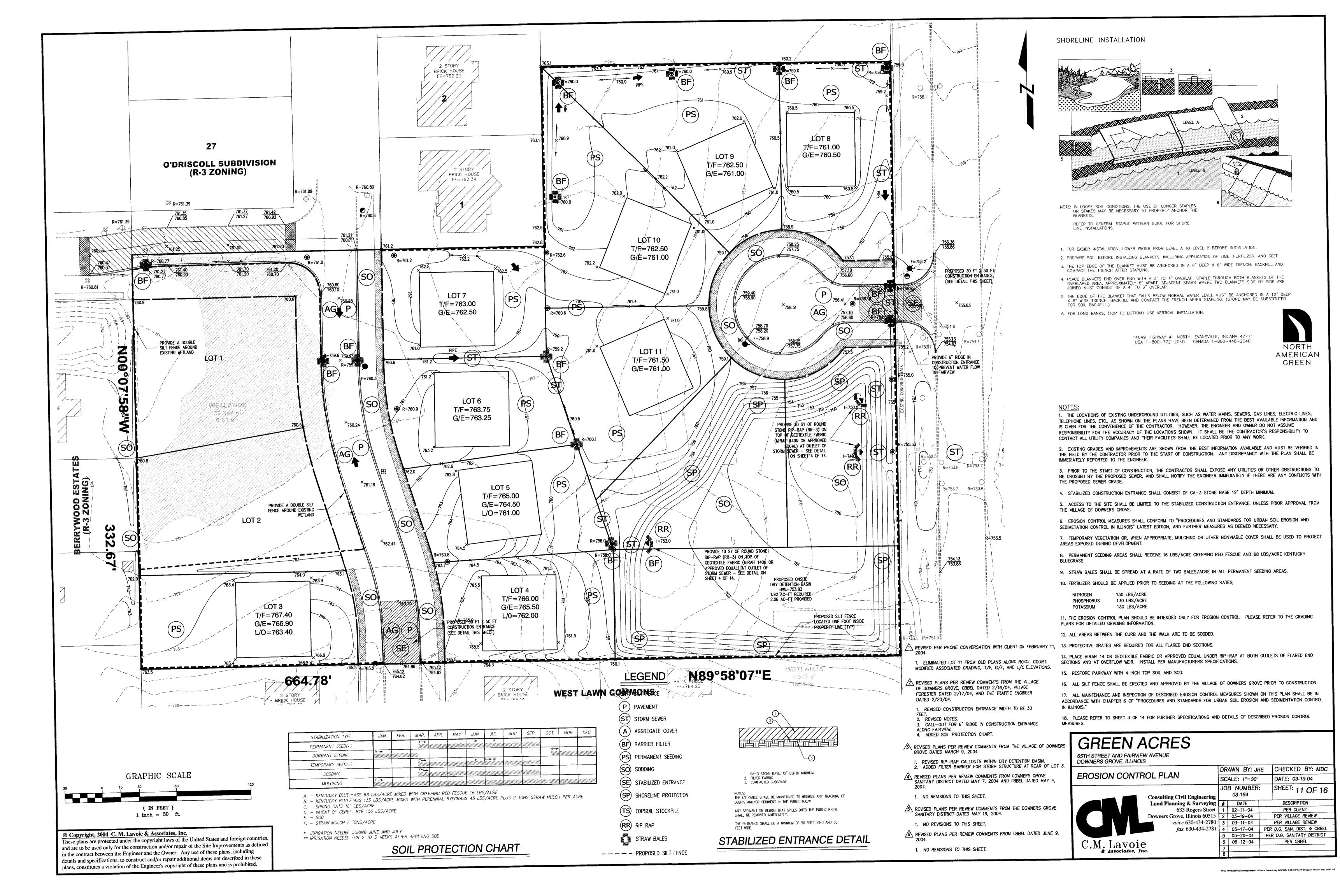
Page 12 of 20



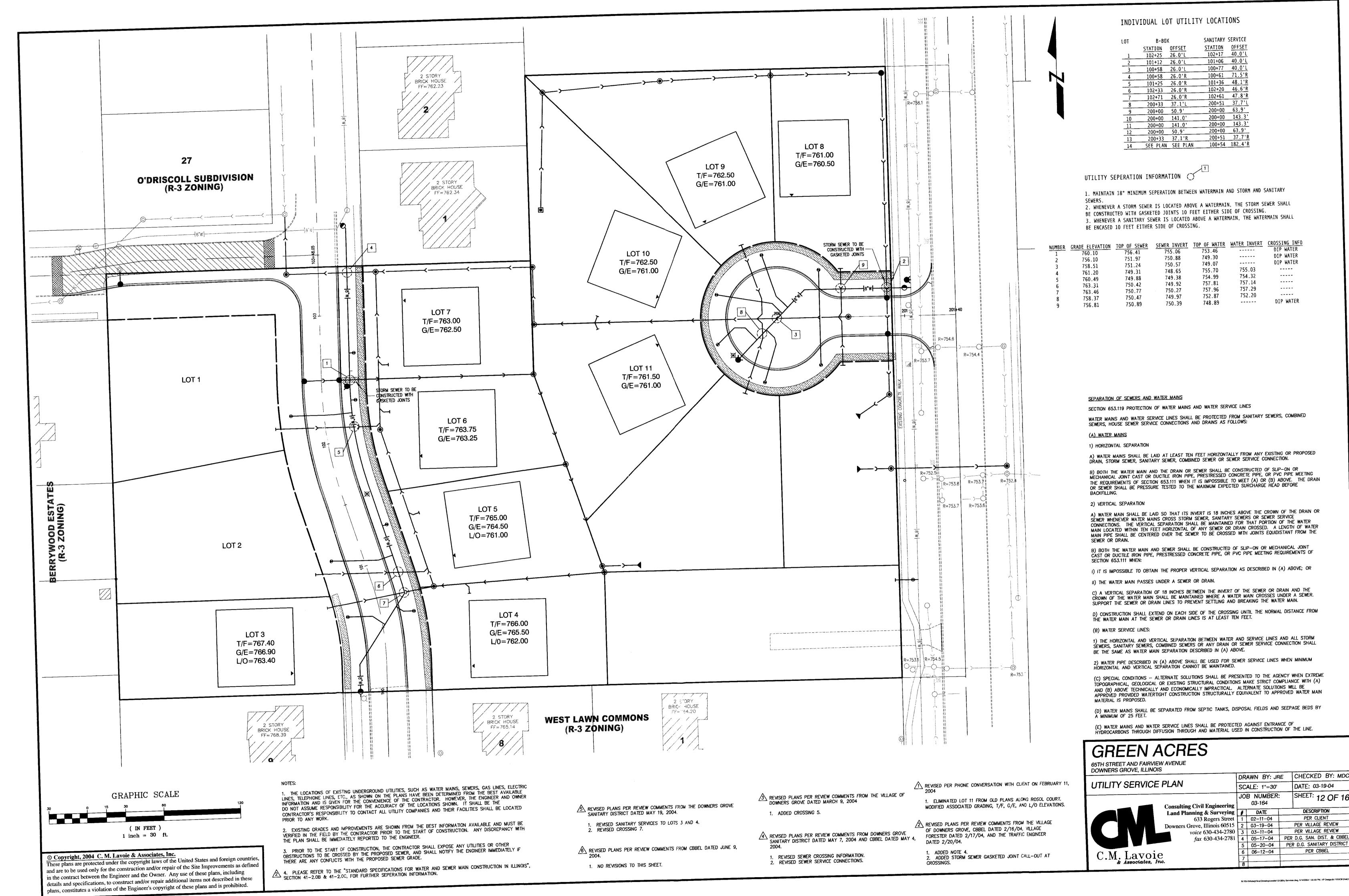
M:\03-164\thmy\Final Drawings\onsite\10-Ptan and Profile.thmg, 6/14/2004 1:03:54 PM, HP DesignJet 1055CM (mail) by t

plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

Page 13 of 20



Page 14 of 20 RES 2015-6099

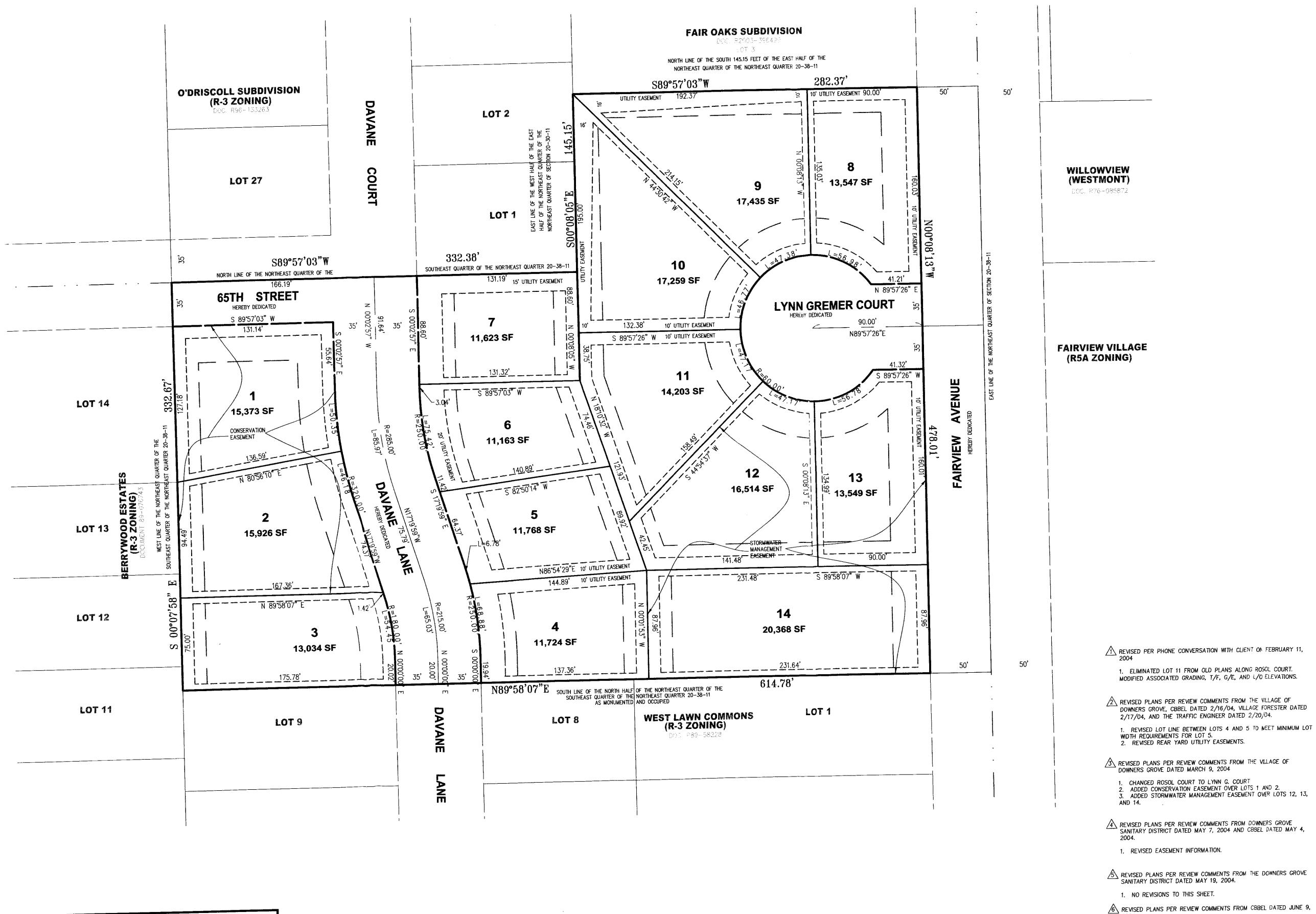


PER D.G. SAN. DIST. & CBBEL 05-20-04 PER D.G. SANITARY DISTRICT

FINAL PLAT OF SUBDIVISION

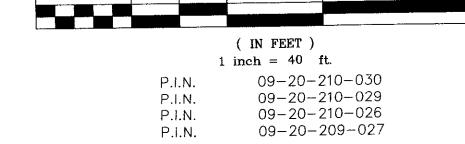
GREEN ACRES OF DOWNERS GROVE

IN THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



GRAPHIC SCALE

Page 15 of 20

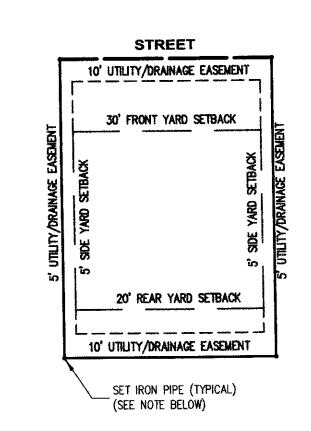


<u>LEGEND</u>:

(0.00) 0.00	RECORD INFORMATION MEASURED INFORMATIO
	BOUNDARY LINE
	LOT LINE
	SETBACK LINE
Ağılı Miller Miller Turque bilindir Miller Turque	EASEMENT LINE
	RIGHT OF WAY LINE
	SECTION LINE

DEVELOPMENT SUMMARY

MAXIMUM LOT SIZE = 20,368 SF (0.468 AC)AVERAGE LOT SIZE = 14,534 SF (0.334 AC) R.O.W. DEDICATION = 42,074 SF (0.966 AC) TOTAL = 245,559 SF (5.64 AC)TOTAL NUMBER OF DWELLING UNITS = 14 DWELLING UNITS PER ACRE EACH BUILDING SHALL BE CONSTRUCTED ON AN INDIVIDUAL



TYPICAL LOT SETBACK/EASEMENT DIMENSIONS

(SIDEYARD EASEMENTS ARE AS INDICATED ON THE HEREON DRAWN PLAT. IN AREAS WHERE THE SIDEYARD EASEMENT IS GREATER THAN 5 FEET THE SIDE YARD SETBACK SHALL COINCIDE WITH THE EASEMENT LINE) 10' EASEMENTS ALONG COMMON REAR LINES SHALL BE SHARED AT 5' EITHER SIDE OF THE COMMON LINE, EXCEPT WHERE NOTED. (IRON PIPE WILL BE SET AT ALL LOT CORNERS UPON COMPLETION OF FINAL GRADING)

GREEN ACRES

DOWNERS GROVE, ILLINOIS

C.M. Lavoie & Associates, Inc.

FINAL PLAT OF SUBDIVISION Land Planning & Surveying # DATE 633 Rogers Street Downers Grove, Illinois 60515 voice 630-434-2780

DRAWN BY: MAL | CHECKED BY: RWS DATE: 02-09-04 SCALE: 1"=40' SHEET: 13 OF 16 JOB NUMBER: PER CLIENT PER VILLAGE REVIEW PER VILLAGE REVIEW 3 03-11-04 fax 630-434-2781 4 05-17-04 PER D.G. SAN. DIST. & CBBE 5 05-20-04 PER D.G. SANITARY DISTRICT

REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4,

REVISED EASEMENT INFORMATION.

REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.

REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9,

1. NO REVISIONS TO THIS SHEET.

© Copyright, 2004 C. M. Lavoie & Associates, Inc. These plans are protected under the copyright laws of the United States and foreign countries, and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans,

constitutes a violation of the Engineer's copyright of these plans and is prohibited.

FINAL PLAT OF SUBDIVISION

GREEN ACRES OF DOWNERS GROVE

IN THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

SCHOOL DISTRICT CERTIFICATE

NOTARY'S CERTIFICATE STATE OF ILLINOIS)

CORPORATION.

COUNTY OF DUPAGE) SS

STATE OF ILLINOIS)

DECLARATION OF RESTRICTIVE COVENANTS

THE UNDERSIGNED OWNERS HEREBY DECLARE THAT THE REAL PROPERTY DESCRIBED IN AND DEPICTED ON THE PLAT OF SUBDIVISION SHALL BE HELD, TRANSFERRED, SOLD, CONVEYED, AND OCCUPIED SUBJECT TO THE FOLLOWING COVENANTS AND RESTRICTIONS: A) ALL PUBLIC UTILITY STRUCTURES AND FACILITIES, WHETHER LOCATED ON PUBLIC OR PRIVATE PROPERTY, SHALL BE CONSTRUCTED WHOLLY UNDERGROUND, EXCEPT FOR TRANSFORMERS, TRANSFORMER PADS, LIGHT POLES, REGULATORS, VALVES, MARKERS AND SIMILAR STRUCTURES APPROVED BY THE VILLAGE ENGINEER OF THE VILLAGE OF DOWNERS GROVE PRIOR TO THE RECORDING OF THIS PLAT OF SUBDIVISION. B) AN EASEMENT FOR SERVING THE SUBDIVISION, AND OTHER PROPERTY WITH STORM DRAINAGE, SANITARY SEWER, STREET LIGHTING, POTABLE WATER SERVICE AND OTHER PUBLIC UTILITY SERVICES IS HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF DOWNERS GROVE AND THE DOWNERS GROVE SANITARY DISTRICT, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEPARATELY, TO INSTALL, OPERATE AND MAINTAIN AND REMOVE, FROM TIME TO TIME, FACILITIES AND EQUIPMENT USED IN CONNECTION WITH THE PUBLIC WATER SUPPLY, TRANSMISSION LINES, SANITARY SEWERS, STORM DRAINAGE SYS EM, STREET LIGHTING SYSTEM OR OTHER PUBLIC UTILITY SERVICE, AND THEIR APPURTENANCES, EITHER ON, OVER, ACROSS, BELOW OR THROUGH THE GROUND SHOWN WITHIN THE DASHED LINES ON THE PLAT MARKED "PUBLIC UTILITY AND/OR DRAINAGE EASEMENT", OR SIMILAR LANGUAGE DESIGNATING A STORMWATER OR SEWER EASEMENT, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER THE GRANTEES FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE STORMWATER OR SEWER EASEMENT WITHOUT PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF. WHEREAS, SAID LOTS WILL BE CONVEYED TO PURCHASERS SUBJECT TO THIS DECLARATION TO

THE END THAT THE RESTRICTIONS IMPOSED SHALL INURE TO THE BENEFIT OF EACH AND ALL OF THE PURCHASERS OF SUCH LOTS WHETHER THEY SHALL BECOME SUCH BEFORE OR AFTER THE DATE THEREOF, AND THEIR RESPECTIVE HEIRS AND ASSIGNS, AND WHEREAS, THE AFORESAID PROPERTY DESCRIBED ON THE ATTACHED PLAT IS LOCATED ENTIRELY WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF DOWNERS GROVE, ILLINOIS, AND WHEREAS, ALL THE PROVISIONS, RESTRICTIONS, CONDITIONS, COVENANTS, AGREEMENTS, AND CHARGES HEREIN CONTAINED SHALL RUN WITH AND BIND ALL OF SAID LOTS AND LAND, AND SHALL INURE TO THE BENEFIT OF, AND BE ENFORCEABLE BY THE VILLAGE OF DOWNERS GROVE,

ILLINOIS, AND THE OWNER OR OWNERS OF ANY OF THE LOTS OF LANDS COMPRISED WITHIN SAID PLAT, AND THEIR RESPECTIVE HEIRS, EXECUTORS, ADMINISTRATORS, SUCCESSORS AND ASSIGNS. NOW, THEREFORE, ALL PERSONS, FIRMS OR CORPORATIONS NOW OWNING THE AFORESAID PROPERTY DO COVENANT AND AGREE THAT THEY OR ANY PERSON, FIRM OR CORPORATION HEREAFTER ACQUIRING ANY PROPERTY OR LOTS SHOWN UPON THE THE ATTACHED PLAT OF SUBDIVISION ARE HEREBY SUBJECTED TO THE FOLLOWING RESTRICTIONS RUNNING WITH SAID PROPERTY BY WHOMSOEVER OWNED, TO WIT: 1) NO IMPROVEMENT SHALL BE MADE IN OR UPON THE STORMWATER EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, AS DESCRIBED IN THE PLAT OF SUBDIVISION, EXCEPT FOR

LANDSCAPE INSTALLATION OF TREES, SHRUBS, BUSHES AND GRASS AND THE INSTALLATION OF UNDERGROUND UTILITY LINES AND DRIVEWAYS. EACH OWNER OR PURCHASER SHALL BE RESPONSIBLE FOR MAINTAINING THE STORMWATER EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, APPLICABLE TO HIS LOT IN SUCH A MANNER AS TO INSURE THE FREE AND UNINTERRUPTED FLOW OF STORM WATER THROUGH THE DRAINAGE SYSTEM OF THE SUBDIVISION, AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES WITHOUT HAVING FIRST RECEIVED PRIOR WRITTEN APPROVAL OF THE VILLAGE OF

3) IN THE EVENT THAT ANY OWNER OR PURCHASER FAIL TO PROPERLY MAINTAIN THE WATER DOWNERS GROVE. ILLINOIS. DETENTION AREA EASEMENTS, THE VILLAGE OF DOWNERS GROVE, ILLINOIS, SHALL UPON TEN DAYS PRIOR WRITTEN NOTICE RESERVE THE RIGHT TO PERFORM, OR HAVE PERFORMED ON IT'S BEHALF, ANY MAINTENANCE WORK TO OR UPON THE WATER DETENTION AREA REASONABLY NECESSARY TO INSURE ADEQUATE STORM WATER STORAGE AND FREE FLOW OF STORM WATER

THROUGH THE WATER DETENTION EASEMENT. 4) IN THE EVENT THE VILLAGE OF DOWNERS GROVE, ILLINOIS, SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON IT'S BEHALF, ANY MAINTENANCE WORK TO OR UPON THE STORMWATER EASEMENT, INCLUDING DETENTION OR RETENTION AREAS, THE COST WITH THE ADDITIONAL SUM OF TEN PERCENT SHALL, UPON RECORDATION OF A NOTICE OF LIEN WITHIN SIXTY DAYS OF COMPLETION OF THE WORK, CONSTITUTE A LIEN AGAINST HIS LOT WHICH MAY BE FORECLOSED BY AN ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE OF DOWNERS

5) THE AFORESAID RESTRICTIONS AND COVENANTS, AND EACH AND EVERY OF THEM, ARE HEREBY EXPRESSLY MADE AN ESSENTIAL PART OF THIS INSTRUMENT, AND SHALL BE AND REMAIN OF PERPETUAL EFFICACY AND OBLIGATION IN RESPECT TO THE SAID PREMISES AND THE PARTIES HEREIN DESIGNATED, THEIR AND EACH OF THEIR SUCCESSORS, HEIRS, AND ASSIGNS.

IN WITNESS WHEREOF, THE OWNERS HAVE SET THEIR HANDS UPON THE ATTACHED PLAT THE DAY AND DATE FIRST WRITTEN THEREON.

DATED AT	ILLINOIS,	THIS	DAY OF	 , A.D., 20

ROSOL CONSTRUCTION, INC.

DOWNERS GROVE SANITARY DISTRICT CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) SS COLLECTOR OF THE DOWNERS GROVE SANITARY DISTRICT, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY UNDEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT. THIS _____, DAY OF _____, 20_____ BY: _____COLLECTOR VILLAGE COLLECTOR'S CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) SS VILLAGE OF DOWNERS GROVE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT. THIS ______, 20______. PLAN COMMISSION CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) SS APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF DOWNERS GROVE, THIS ______, 20______, VILLAGE COUNCIL'S CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) SS BY THE COUNCIL OF THE VILLAGE OF DOWNERS GROVE. VILLAGE CLERK COUNTY CLERK'S CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) SS OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT. GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, THIS ______, 20______,

REVISED PER PHONE CONVERSATION WITH CLIENT ON

NO REVISIONS THIS SHEET.

REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE, CBBE. DATED 2/16/04, VILLAGE FORESTER DATED 2/17/04, AND THE TRAFFIC ENGINEER DATED 2/20/04. 1. NO REVISIONS TO THIS SHEET.

REVISED PLANS PER REVIEW COMMENTS FROM THE VILLAGE OF DOWNERS GROVE DATED MARCH 9, 2004

ADDED WETLAND CONSERVATION EASEMENT PROVISION 2. ADDED DECLARATION OF RESTRICTIVE COVENANTS

4	REVISED PLANS PER REVIEW COMMENTS FROM DOWNERS GROVE SANITARY DISTRICT DATED MAY 7, 2004 AND CBBEL DATED MAY 4, 2004.
	1. NO REVISIONS TO THIS SHEET.
<u>\$</u>	REVISED PLANS PER REVIEW COMMENTS FROM THE DOWNERS GROVE SANITARY DISTRICT DATED MAY 19, 2004.
	1. NO REVISIONS TO THIS SHEET.
<u>6</u>	REVISED PLANS PER REVIEW COMMENTS FROM CBBEL DATED JUNE 9, 2004.
	A NO DEVICIONS TO THIS SHEET

COUNTY OF DUPAGE) THE UNDERSIGNED DO HEREBY CERTIFY THAT, AS OWNERS OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND KNOWN AS BANCHORY WOODS, TO THE BEST OF OF THEIR KNOWLEDGE, IS LOCATED WITHIN THE BOUNDARIES OF THE DOWNERS GROVE HIGH SCHOOL DISTRICT 99, AND ELEMENTARY SCHOOL DISTRICTS OF DOWNERS GROVE NUMBERS 69 AND 58, IN DU PAGE COUNTY, ROSOL CONSTRUCTION, INC. CERTIFICATE OF COUNTY RECORDER STATE OF ILLINOIS) COUNTY OF DUPAGE) THIS INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS ON THE _____ DAY OF _____, A.D., 2004, AT _____ O'CLOCK ______ .M. IN BOOK _____ OF PLATS ON PAGE _____. ENGINEER/OWNER CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) I, ______, A REGISTERED PROFESSIONAL ENGINEER IN ILLINOIS AND OWNER OF THE LAND DEPICTED HEREON OR HIS DULY AUTHORIZED ATTORNEY, DO HEREBY STATE, THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS AND PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION. FURTHER, AS ENGINEER, I HEREBY CERTIFY THAT THE PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION OR ANY PART THEREOF IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. DATED THIS ______, 20 ______, 20 ______ BY: _______BY: _________BY: _________OWNER OR ATTORNEY OWNER'S CERTIFICATE STATE OF ILLINOIS) COUNTY OF DUPAGE) THIS IS TO CERTIFY THAT ROSOL CONSTRUCTION, INC., IS AN OWNER OF THE LAND DESCRIBED HEREON, AND HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS INDICATED HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AS ALLOWED AND PROVIDED BY STATUTE AND HEREBY ACKNOWLEDGES AND ADOPTS THE SAME UNDER THE STYLE AND TITLE DATED AT _____, THIS ______, DAY OF ______, 20_____. BY: ______ ATTEST: _____ TITLE: _____

I, ______, A NOTARY PUBLIC IN THE COUNTY AND

WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHO ARE SUBSCRIBED TO

THE FORGOING CERTIFICATE OF OWNERSHIP, APPEARED BEFORE ME THIS DAY IN PERSON AND

ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY FOR THE USES AND

PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AND DEED OF SAID

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF

BY: ______NOTARY PUBLIC

STATE AFORESAID, DO HEREBY CERTIFY THAT _______

WETLAND CONSERVATION EASEMENT PROVISION

THE AREA SHOWN HEREON AS "CONSERVATION EASEMENT" IS HEREBY SUBJECT TO THE FOLLOWING:

Page 16 of 20

09-20-210-030

09-20-210-029

09-20-210-026 09-20-209-027

P.I.N.

I. THE U.S. ARMY CORPS OF ENGINEERS, THE COUNTY OF DUPAGE EASEMENT (HEREINAFTER THE "COUNTY") AND THE VILLAGE OF DOWNERS GROVE, ILLINOIS (HEREINAFTER THE"VILLAGE") WILL EACH HAVE THE RIGHT TO ENTER THE AT ALL REASONABLE TIMES AND TO ENFORCE BY PROCEEDINGS IN LAW OR EQUITY THE COVENANTS AND RESTRICTIONS HEREIN.

2. THE FOLLOWING ACTIONS ARE NOT PERMITTED EXCEPT BY PRIOR WRITTEN CONSENT FROM THE COUNTY AND THE VILLAGE:

- A. PLACING DREDGED OR FILL MATERIAL, PLOWING, MINING, OR REMOVAL OF TOPSOIL OR OTHER MATERIALS.
- B. CONSTRUCTION OF BUILDINGS, STRUCTURES, OR DEVELOPMENTS.
- C. REMOVAL OR DESTRUCTION OF WILDLIFE, TREES OR PLANTS, MOWING, APPLICATION OF PESTICIDES OR HERBICIDES, OR REMOVAL OF FLORA OR FAUNA EXCEPT AS REQUIRED FOR THE MAINTENANCE OF THE PROPERTY AS A WETLAND.
- D. OPERATION OF WATERCRAFT, CARS, TRUCKS, SNOWMOBILES, MOTORCYCLES, OR ANY OTHER TYPES OF MOTORIZED VEHICLES.
- E. HUNTING, TRAPPING, GRAZING OR KEEPING OF LIVESTOCK.
- F. NEW OR ADDITIONAL UTILITIES PLACED OVERHEAD OR UNDERGROUND.
- G. MODIFICATIONS TO THE HYDROLOGY OF THE EASEMENT, EITHER. DIRECTLY OR INDIRECTLY, THAT WOULD ALLOW MORE WATER ONTO, OR THAT WOULD DRAIN WATER AWAY FROM THE EASEMENT UNLESS CONSISTENT WITH THE MAINTENANCE OF THE PROPERTY AS A WETLAND.

3. THESE RESTRICTIONS AND COVENANTS SHALL RUN WITH THE LAND AND BE BINDING ON THE OWNER AND ITS ASSIGNS FOREVER.

CERTIFICATE OF COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL

) ss COUNTY OF DU PAGE)

__, DIRECTOR FOR THE DUPAGE COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL CONCERNS, DO HEREBY CERTIFY THAT THIS PLAT OF SUBDIVISION, AND THE PLANS AND SPECIFICATIONS FOR THE IMPROVEMENTS THEREOF, MEET THE REQUIREMENTS OF THE DUPAGE COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL CONCERNS.

DATED AT WHEATON, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF

______, 20 _____.

SURVEYOR'S CERTIFICATE STATE OF ILLINOIS)

COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, ROBERT W. STASIK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2322, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 145.15 FEET OF THE EAST HALF OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (EXCEPT FAIRVIEW AVENUE), ALSO THE THE NORTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER (EXCEPT FAIRVIEW AVENUE), AND THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER (EXCEPT FAIRVIEW AVENUE) ALSO KNOWN AS LOT 2 IN REHAK'S ASSESSMENT, ALL IN SECTION 20, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

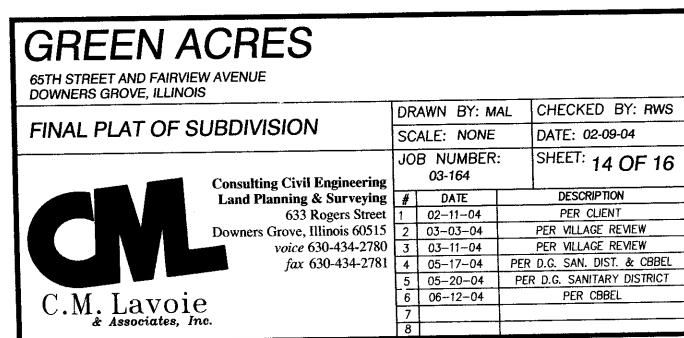
I HEREBY CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND CORRECTED TO A TEMPERATURE OF 68 DEGREES

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED, AND THAT NO PART OF THE PROPERTY COVERED BY THIS PLAT OF RESUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), MAP PANEL NUMBER 170204 0003 C, SHOWING AN EFFECTIVE DATE OF MARCH 15, 1982.

C. M. LAVOIE AND ASSOCIATES. INC.

BY: _____ DATE: SEPTEMBER 9, 2003

ROBERT W. STASIK, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2322 LICENSE RENEWAL/DATE OF EXPIRATION: 11-30-2004



and are to be used only for the construction and/or repair of the Site Improvements as defined in the contract between the Engineer and the Owner. Any use of these plans, including details and specifications, to construct and/or repair additional items not described in these plans, constitutes a violation of the Engineer's copyright of these plans and is prohibited.

These plans are protected under the copyright laws of the United States and foreign countries,

© Copyright, 2004 C. M. Lavoie & Associates, Inc.

1. NO REVISIONS TO THIS SHEET.

M:03-164/dwg\Final Drawingstonsite\14-Plat of Subdivision-2 dwg, 6/14/2004 2:02:01 PM, HP DesignJet 1055CM (mal) by HP pc3

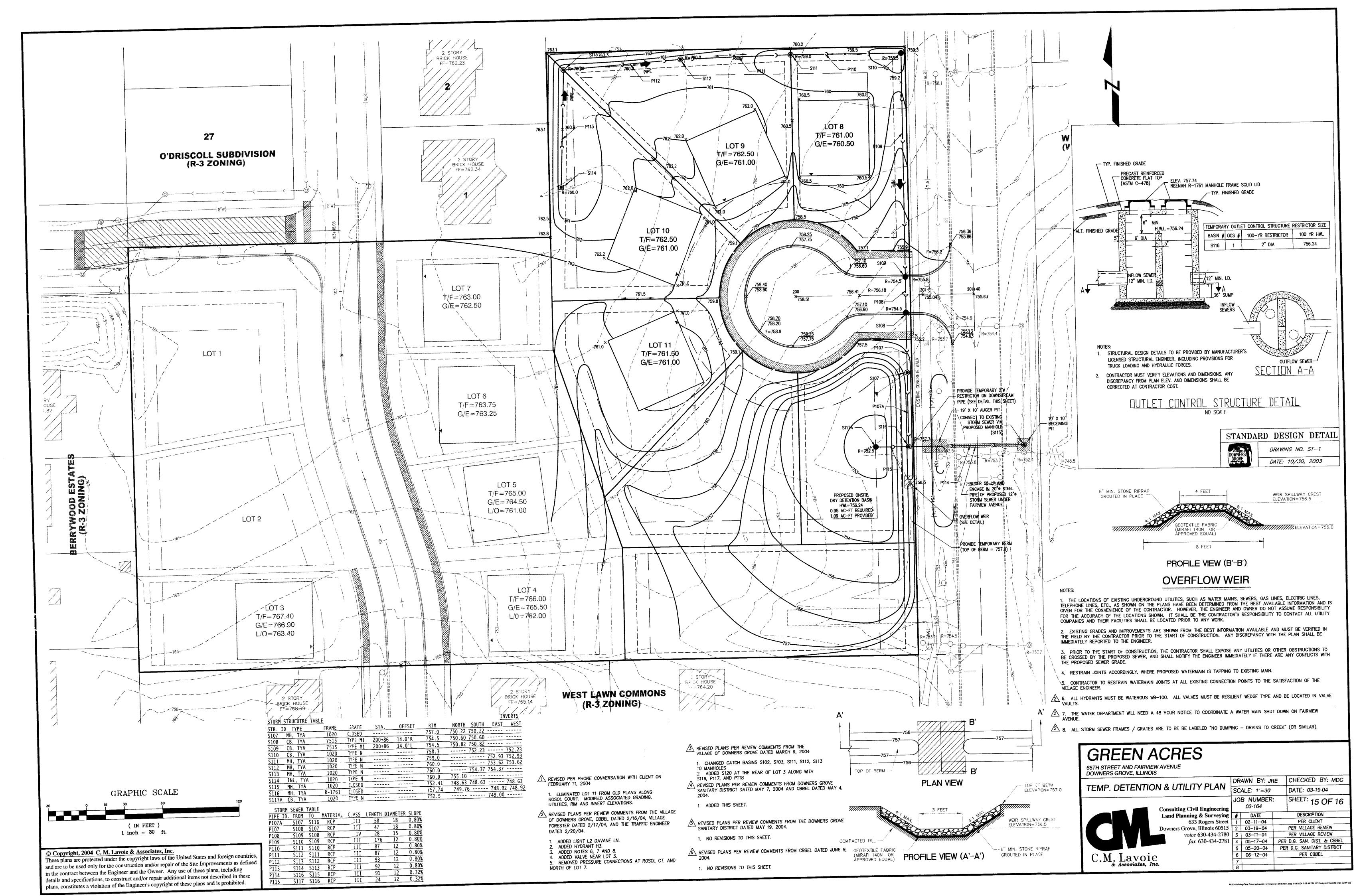
PROFESSIONAL

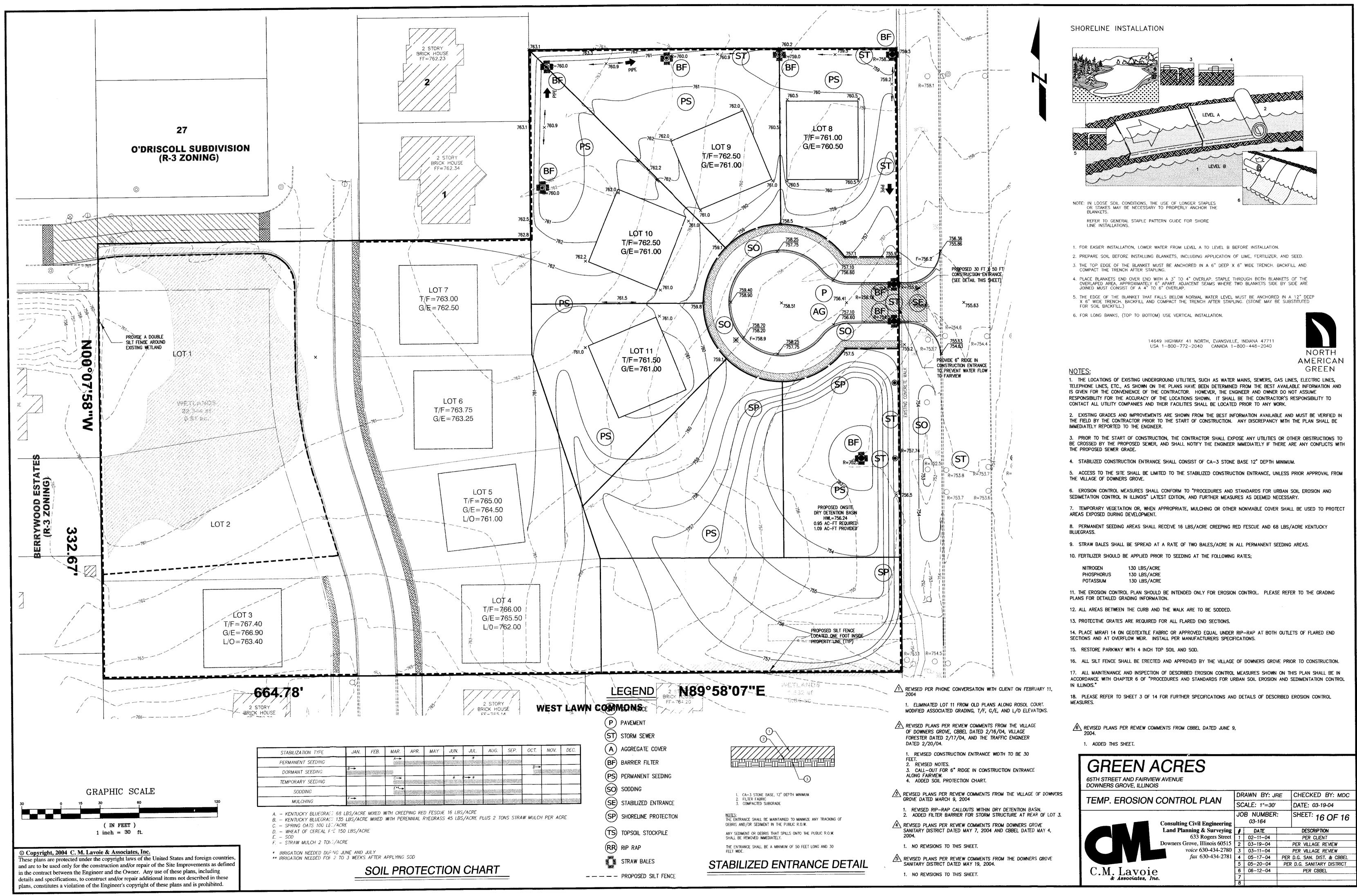
LAND SURVEYOR

NO. 35-2322

DOWNERS GROVE,

Page 17 of 20





VOLUME = (1/3)* [EL2 - EL1)* (A1 + A2 + Sqrt (A1 * A2)]
EL1, EL2 = Lower and upper elevations of the increment
A1, A2 = Areas computed for EL1 and EL2
Volume = incremental volume between EL1 and EL2

VOLUME = (1/3)*(E12-E1()*(A1 + A2 + Sort (A1 * A2))
E1.1, E1.2 = Lower and upper elevations of the increment
A1, A2 = Areas computed by E1.1 and E1.2
Volume = Incremental volume between E1.1 and E1.2

PROPOSED DETENTION VOLUME (LOT 12, 13, 14)

A1+A2+Sqrt (A1*A2) (Acres) 0.00 0.23 1.01 1.45 1.54 1.60

0.05 0.05 0.48 0.53 0.53 0.53 0.53

0.06 0.06 0.38 0.87 1.38

> 0.21 0.24 0.34

> > STATE OF ILLINOIS) SS COUNTY OF KENDALL)

WE, C.M. LAVOIE AND ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184--003041, HEREBY CERTIFY THAT THE EXHIBIT DRAWN HEREON AND THE INFORMATION THAT IT REPRESENTS, WERE PREPARED AND PERFORMED BY US, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEYS.

MINESER (ILLINOIS THIS 8TH DAY OF JUNE, 2012

ROFELMORE LANDS

MPROVEMENT LOCATIONS ARE BASED ON A FIELD SURVEY BY C.M. LAVDIE AND ASSOCIATES, INC. ON NE 41H, 2012. THERE MAY BE OTHER IMPROVEMENTS DONE TO THE SUBJECT PROPERTY THAT ARE NOT SHOWN

COMPARE YOUR POINTS BEFORE USING SAME AND REPORT ANY DIFFERENCES IMMEDIATELY

AS-BUILT DETENTION VOLUME (LOT 12, 13, 14)

(Acres) 0.00 0.30 1.15 1.48 1.54 1.54 1.56

(AC-FT) 0,00 0,03 0,38 0,49 0,51 0,51 0,18 0,03

(AC-FT) 0,00 0,03 0,41 0,91 1,42 1,60 1,62 1,96

AS-BUILT WALL AND POND EXHIBIT

DESCRIPTION
REVISED PER ENGINEER
REVISED PER ENGINEER

CHECKED BY: KEB
DATE: 6/8/12
SHEET: 1 OF 1

Lavoie Associates, Inc.

GREENSCAPE
FAIRVIEW AVENUE & LYNIN GREMER COURT

HOMES,

LLC

